



Inspection Report

Ricky Jimmy

Property Address:
3212 Main Pl
Rancho Santa Fe CA 92067



The Property Inspection Pros

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Certified Professional Inspector



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Date: 6/17/2024	Time: 09:00 AM	Report ID:
Property: 3212 Main Pl Rancho Santa Fe CA 92067	Customer: Ricky Jimmy	Real Estate Professional:

IN ATTENDANCE DURNING THE INSPECTION: BUYER, BUYER'S AGENT, INSPECTOR	TYPE OF BUILDING: SINGLE FAMILY DETACHED, DETACHED GUEST HOUSE, WITH POOL/ SPA	APPROXIMATE YEAR BUILT (BASED ON BUYERS AGENT-BUYER-OR/MLS): 1998
WEATHER TYPE: CLEAR	TEMPERATURE: 72, DEGREES	GROUND/ SOIL SURFACE CONDITIONS: DRY
RAINED IN THE LAST 3 DAYS: NO	NUMBER OF LEVELS: 2	UTILITIES: ALL UTILITIES WERE ON
OCCUPIED: YES	POOL/ SPA INSPECTION: YES	SEWER SCOPE INSPECTION: YES

PLEASE READ THE FOLLOWING INFORMATION

The purpose of this inspection is to assess the general condition of the property. Our Inspectors are Generalists and not Specialists. Further evaluated by licensed contractors who through their evaluations may identify additional material defects or adverse conditions that could result in injury or lead to costs that would significantly affect your evaluation of the property. We highly recommend that you follow our further evaluation recommendations as outlined in your inspection report prior to the end of your contingency period. Special attention is given to identifying deficiencies in systems and components that require immediate repair, or that need further investigation. Chips, cracks, blemishes, etc. that are cosmetic in nature are not reportable items. The Client(s) is/are therefore advised to inspect and evaluate such items personally and take corrective action(s) if concerned.

This report is the exclusive property of The Property Inspection Pros and the client(s) whose name appears herewith, and its use by any unauthorized persons is strictly prohibited. The observations and opinions expressed within this report are those of The Property Inspection Pros and supersede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the International Association of Certified Home Inspectors Standards of Practice of a General Home Inspection.

SCOPE OF THE INSPECTION:

The Property Inspection Pros Inspectors will inspect all properties in accordance with the International Association of Certified Home Inspectors, Standards of Practice of a General Home Inspection. We respectfully ask that you read and become familiar with these Standards of Practice at the following link: **STANDARDS OF PRACTICE** If you have any questions or concerns of these Standard of Practice of a General Home Inspection please contact us 760-525-6154.

The Property Inspection Pros provides you with a basic overview of the condition of the property at the time

and date of the inspection. The purpose of your Home Inspection is to evaluate the general condition of the structure at the noted address. This includes determining whether systems are still performing their intended functions. The inspection to be performed for Client(s) is a limited, visual, non-invasive, non-destructive, nontechnically exhaustive evaluation, performed for a determined fee, designed to identify material defects in the systems, structures, and components of the above-referenced primary building and its associated primary parking structure as they exist at the time and date of the inspection. A material defect is a condition that significantly affects the value, desirability, habitability or safety of the building. Style or aesthetics shall not be considered in determining whether a specific system, structure, or component is defective. The inspection shall be limited to those specific systems, structures, and components that are present and visually accessible at the date and time of the inspection. Components and systems shall be operated with normal user controls only and as conditions and limitations permit. The inspection provides a general overview of the more obvious repairs or replacement that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not. There are limitations to the scope of this Inspection.

The inspection report shall describe and identify the inspected systems, structures, and components of the building and identify material defects in those systems, structures, and components observable during the inspection, with limitations. Defects that are concealed/ are not accessible are specifically disclaimed. This includes defects that are concealed in/ behind the walls and wall coverings, in/ behind the floors and floor coverings, concealed by fresh paint, soil, vegetation, or other landscaping, or by stored items throughout the interior or exterior of the house/ property. Client(s) understands that the inspector shall use specialized tools at aid in the inspection process with the Client(s) best interest in mind, but that some concealed defects may go undetected and are unable to be reported on. Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wallpaper, look behind pictures, and move furniture / stored items, lift flooring (including carpet) to look underneath, or cut / remove vegetation / landscaping. Client(s) agrees to hold the Inspector and The Property Inspection Pros harmless if Client(s) or any of the Client(s) representatives discovers concealed defects that were undetected at the time and date of the inspection.

LIMITATIONS, EXCEPTIONS AND EXCLUSIONS:

Excluded from this limited, visual, non-intrusive, non-destructive, non-technically exhaustive generalist inspection of the structure is any system, structure, or component of the building which is inaccessible, concealed from view, or cannot be inspected due to circumstances beyond the control of Inspector, or which Client(s) has agreed is not to be inspected. In addition to concealed defects, the following are excluded from the scope of this inspection unless specifically agreed to in writing:

1. Determining compliance with each manufacturers' specifications, researching building codes for the year built or modified, ordinances, regulations, covenants, or other restrictions (such as HOA rules), including local interpretations thereof.
2. Obtaining or reviewing information from any third-parties including, but not limited to: government agencies (such as permits), component or system manufacturers (including product defects, recalls or similar notices, unless agreed to in writing), square footage, contractors, managers, sellers, occupants, neighbors, consultants, homeowner or similar associations, attorneys, agents or brokers. The Property Inspection Pros does not endorse nor inspect unpermitted structures or additions and exclusively disclaims them from our inspection and inspection report. Geotechnical, engineering, structural, architectural, geological, hydrological, land surveying or soils-related examinations.
3. Examination of conditions related to animals, rodents, insects, wood-destroying insects, organisms, mold, and mildew or the damage caused thereby. Mold determination is not part of this inspection (unless agreed to in writing). If evidence of unidentified stains is noted, a specialist should be consulted to determine type. Mold has been known to cause health risks. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.
4. Certain factors relating to any systems, structures, or components of the building, including, but not limited to: Recalls, adequacy, efficiency, durability or remaining useful life, costs to repair, replace or operate, fair market value, marketability, quality, or advisability of purchase.
5. Environmental hazards or conditions, including, but not limited to, toxic, reactive, combustible, corrosive contaminants, wildfire, geologic or flood.
6. Dismantling of any system, structure, or component, or perform any intrusive or destructive examination, test or analysis. Inspector is limited to evaluating components from standard service or access covers.
7. Examining or evaluating fire-resistive qualities of any system, structure or component of the building.
8. Systems, structures, or components of the building, which are not permanently installed (such

as refrigerators, washing machines and dryers, window AC, etc). 9. Systems, structures, or components that are not part of the main house, unless specifically identified in the written inspection report. 10. Common areas, or systems, structures, or components thereof, including, but not limited to, those of a common interest (HOA). 11. Examining or evaluating the acoustical or other nuisance characteristics of any system, structure, or component of a building, complex, adjoining properties, or neighborhood. 12. Operating or evaluating low voltage electrical, antennas, security systems, cable or satellite television, telephone, remote controls, radio controls, timers, intercoms, computers, computer networks, photo-electric, motion sensing, or other such similar non-primary electrical power devices, exterior yard lighting, components, or systems. 13. Evaluation of any pool/spa, barn, fence, irrigation system, built in BBQs or other structures unless agreed to in writing. 14. Evaluation of any type of electric Solar system and related components on or off the house/ structure. 15. Examining or operating any sewage disposal system or component including, but not limited to: septic tanks and/or any underground system or portion thereof, or ejector pumps for rain or waste. 16. Environmental evaluation and inspection. The building inspection is not intended to determine the presence of lead, radon, mold, Polychlorinated biphenyls (PCB's), mildew, urea- formaldehyde, asbestos, sulfur, contaminated drywall, Chinese drywall, or other toxins in the building, ground, water or air. 17. It is beyond the scope of this inspection to determine if any system or component is, has been, or will be part of any product, component or system recall. We highly recommend Client(s) subscribe or contact the CPSC (Consumer Product Safety Commission) for recall information regarding any system or component if concerned.

A home inspection is not a pest inspection. Any observations which the inspector may make in this report regarding evidence of peats or wood destroying organisms, are not a substitute for an inspection by a qualified licensed pest control operator or exterminator. Your inspector may only report on a portion of the currently visible conditions and cannot render an opinion regarding their cause, condition, or remediation. We recommend a careful review of any recent pest control inspection report concerning pest activity or wood destroying organisms on this property. If no such report is available, we recommend that a pest control inspection be performed on the property prior to the end of your contingency period.

Thank you for choosing The Property Inspection Pros for your property inspection needs. We hope the information contained in your report is beneficial to you. If there are areas that you have questions about or would like further explanation, please don't hesitate to call us. Your satisfaction is important to us.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI)= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further

inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Information Only (IO) = This item, is for your information only.

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THE TERMS 'FRONT,' 'REAR,' 'LEFT,' AND 'RIGHT' ARE USED IN REFERENCE TO THE PROPERTY AS VIEWED FROM THE FRONT ENTRY DOOR.

Inspected in accordance with "THE INTERNATIONAL ASSOCIATION OF CERTIFIED HOME INSPECTORS STANDARDS OF PRATICE AND CODE OF ETHICS".

This home is older and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors. We do not verify that the materials are installed according to manufacturer's specifications. We recommend that all stains be further evaluated by a qualified licensed roof contractor prior to the end of your contingency period and repaired as necessary.



Note: We recommend that all roofs be inspected and maintained periodically by a qualified licensed roof contractor.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

1.0 ROOF COVERING (SURFACE OF ROOFING MATERIAL)

ROOF COVERING: AGED/ WORN, SLATE

1.1 TILE ROOF MATERIALS

Comments:

(1) **Photo(s) of the roof.**



1.1 Item 1(Picture)

IN NI NP RR IO Items

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1.1 Item 2(Picture)



1.1 Item 3(Picture)

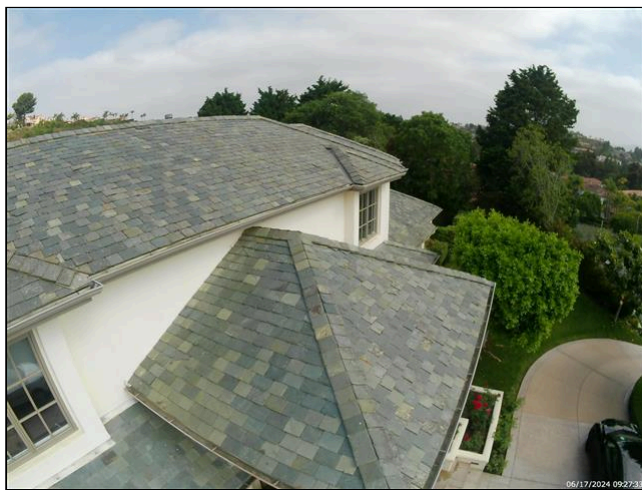


1.1 Item 4(Picture)

IN NI NP RR IO Items



1.1 Item 5(Picture)



1.1 Item 6(Picture)

IN NI NP RR IO Items

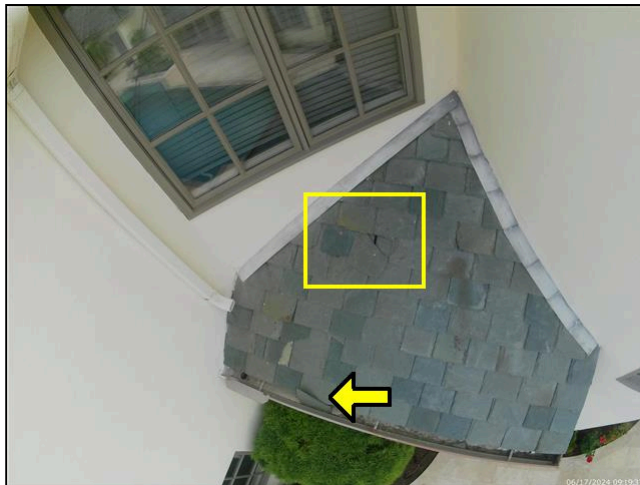
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(2) There are several missing, damaged, cracked and slipped roof tiles noted at several areas throughout the roof. We recommend further evaluation of the entire roof prior to the end of your contingency period by a licensed roof contractor and necessary repairs or replacement made.



1.1 Item 7(Picture)



1.1 Item 8(Picture)

IN NI NP RR IO Items

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1.1 Item 9(Picture)



1.1 Item 10(Picture)



1.1 Item 11(Picture)

(3) The roof covering was inspected from the ground, windows, attic and remotely with the use of a pole-mounted camera to avoid damaging the roof covering and possibly voiding any manufacture warranties and safety for the inspector. This is not a

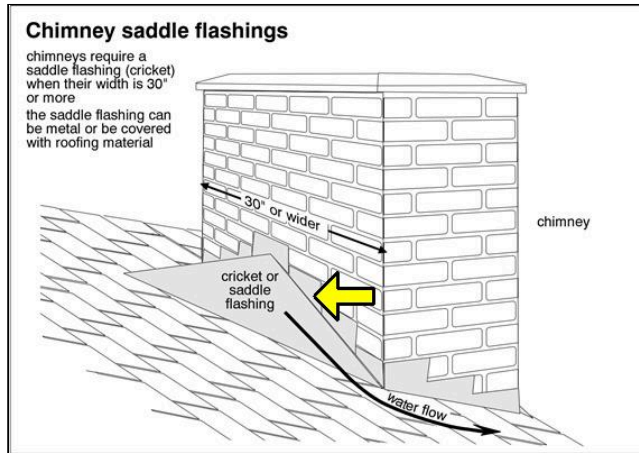
IN NI NP RR IO Items

comprehensive inspection of the roof and is in accordance with the InterNACHI standards of practice we follow. All of the flashings and/pipe penetrations were not fully visible from our vantage point. I cannot guarantee that all of the pipe penetrations and flashings are in good condition. If you want a more comprehensive roof inspection, we recommend that you have the roof inspected by a licensed roof contractor prior to the end of your contingency. Be advised that a licensed roof contractor with the added benefit of walking the roof may find additional defects not listed in this report.

1.2 FLASHINGS AND ROOF PENETRATIONS

Comments:

No saddle or cricket flashing was installed at the chimney. This is required when chimneys are 30 inches wide or more. We recommend further evaluation and necessary corrections by a licensed roof contractor.



1.2 Item 1(Picture)



1.2 Item 2(Picture)

1.3 ROOF DRAINAGE (GUTTERS/ DOWNSPOUTS)

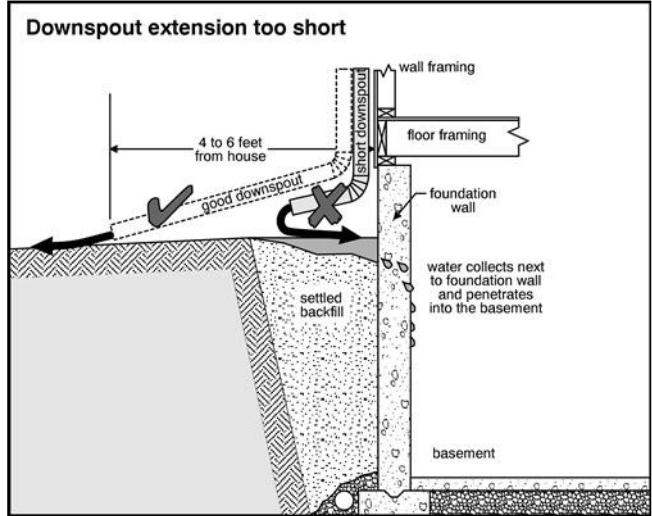
Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

- (1) Gutters appear intact but due to the lack of recent or current rain I am unable to determine if the gutters leak at seams or drain properly.
- (2) Gutters require cleaning. We recommend having the gutters cleaned by a qualified contractor.
- (3) Some of the downspouts need extension and/or a buried drain line to carry water away from the home at several areas. We recommend necessary corrections where needed by a qualified contractor.



1.3 Item 1(Picture)



1.3 Item 2(Picture)

IN NI NP RR IO Items

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1.3 Item 3(Picture)

(4) There are upper level roof downspouts that discharge water onto the lower roof. This causes excessive water to flow in a concentrated portion of the roof causing wear, and staining. During heavy rain water can also be forced under the roofing material causing leaks. We recommend rerouting the downspouts to direct water away from the lower roof to an approved location such as a lower gutter, or a downspout all the way to the ground by a qualified contractor.



1.3 Item 4(Picture)



1.3 Item 5(Picture)



1.3 Item 6(Picture)

1.4 ROOF SHEATHING (OBSERVABLE)

1.5 SKYLIGHT(S) / SOLAR TUBE(S)

SKYLIGHT(S): TILE EXCLUSION

Comments:

Skylight(s) are installed in the home. As manufacturers differ in design and installation methods, improper or non-standard sealing methods are impossible to detect without an intrusive roof inspection. The tile roof covering precludes us from evaluating the installation and flashings. Skylights may leak at any time. We recommend obtaining a roof certification before the close of escrow if the client is concerned.

1.6 DETACHED HOUSE ROOF
Comments:

IN NI NP RR IO Items

(1) Pictures of the roof.



1.6 Item 1(Picture)



1.6 Item 2(Picture)



1.6 Item 3(Picture)

IN NI NP RR IO Items

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1.6 Item 4(Picture)

(2) There are several cracked and slipped roof tiles noted at several areas. We recommend further evaluation of the entire roof prior to the end of your contingency period by a licensed roof contractor and necessary repairs or replacement made.

(3) The roof covering was inspected from the ground, windows, attic and remotely with the use of a pole-mounted camera to avoid damaging the roof covering and possibly voiding any manufacture warranties and safety for the inspector. This is not a comprehensive inspection of the roof and is in accordance with the InterNACHI standards of practice we follow. All of the flashings and/pipe penetrations were not fully visible from our vantage point. I cannot guarantee that all of the pipe penetrations and flashings are in good condition. If you want a more comprehensive roof inspection, we recommend that you have the roof inspected by a licensed roof contractor prior to the end of your contingency. Be advised that a licensed roof contractor with the added benefit of walking the roof may find additional defects not listed in this report.

1.7 SOLAR SYSTEM

Comments:

IN NI NP RR IO Items

The electric solar system and its related components are beyond the scope of the home inspection and was not inspected. We recommend verifying that the electric solar system is operational prior to the end of your contingency period.

We also recommend having all the solar panels cleaned by a qualified person.



1.7 Item 1(Picture)



1.7 Item 2(Picture)

IN NI NP RR IO Items

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1.7 Item 3(Picture)



1.7 Item 4(Picture)



1.7 Item 5(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. However, we do not predict the remaining life, the integrity, or guarantee that the roof will not leak. We also recommend obtaining a home warranty that includes coverage for the roof (s). Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Note: This roof inspection reports on the type and condition of the roofing materials, missing and/or damaged materials, and attachments (excluding solar systems, antennas, etc.) where visible. This does not constitute a warranty, guarantee, roof certification, or life expectancy evaluation of any kind. Roofs are not water tested for leaks. The condition of the roofing underlayment material was not verified/inspected. For further evaluation and a roof certification, we recommend you consult a qualified licensed roofing contractor prior to the end of your contingency period.

2(A) . Guest House Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



Property Notes: Identifying the location of property lines, easements, and other property restrictions, and their implications to existing structures are beyond the scope of our general home inspection.

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IN NI NP RR IO Items

2.0.A EXTERIOR (GENERAL COMMENTS)

Comments:

Unsecured items in a yard may be hazardous. Inspecting unsecured items for proper installation is beyond the scope of our general home inspection. We recommend that any unsecured items be checked by you or by a qualified person to ensure proper installation.

2.1.A VEGETATION (WITH RESPECT TO ITS EFFECT ON THE BUILDING)

2.2.A GRADING AND DRAINAGE (WITH RESPECT TO ITS EFFECT ON THE BUILDING)

LOT TYPE: SLOPED

LOT DRAINAGE: GRADED, BURRIED DRAIN LINES

Comments:

Ground drain lines were visible in the yard at several areas. These drains are not tested for functional flow or adequacy. It is important to maintain these drains and prevent debris from entering. We recommend having all ground drain lines inspected and cleaned after moving into the property and on a periodic basis by a qualified person.

2.3.A WALL CLADDING FLASHING AND TRIM

SIDING MATERIAL: STUCCO, WOOD TRIM

Comments:

Routine Maintenance Tip: Seal all gaps, cracks and openings in the stucco. This includes cracks around windows and doors, gaps between flashing and stucco and small holes in the siding. This is a normal maintenance items and should be done on an annual basis. Small cracks and gaps can cause big problems over time due to water infiltration and pest infestation.

2.4.A EAVES, SOFFITS, FASCIAS

2.5.A DOORS (EXTERIOR)

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Comments:

(1) The french doors at the detached guest house rub each other. This can be caused by several factors including poor installation or settlement of the house. We recommend necessary repairs by a qualified licensed door contractor.



2.5.A Item 1(Picture)

(2) One of the rear patio exterior door handles is loose/damaged. We recommend repairs/replacement where needed by a qualified licensed contractor.



2.6.A WINDOWS (INTERIOR AND EXTERIOR)

WINDOWS: DOUBLE PANE VINYL

Comments:

(1) Gaps observed between the frame and the stucco on the exterior of several windows. We recommend further evaluation and any repairs made by a qualified licensed window contractor.



2.6.A Item 1(Picture)

(2) Dual Pane Window Note - Failed seals in insulated glass dual pane windows are not always visible or detectable. In some instances the home inspector may not be able to disclose the exact condition of every window, depending on the ambient conditions or if the windows are dirty at the time of the inspection. Windows are reported as they are observed at the time of the inspection only. If you have present or future concerns

IN NI NP RR IO Items

regarding the integrity of the dual pane thermal seals, we strongly recommend that you consult with a qualified licensed window contractor for further evaluation. This inspection is not a guarantee of any kind regarding the integrity of the dual pane windows.

(3) Only a representative number of accessible windows are checked for operation during this inspection in accordance with the standards of practice of a home inspection. In some instances inspector may not be able to disclose the exact condition of every window. This includes reporting on the condition of the locks, springs, counter-balance mechanisms, or evidence of leaking if furniture, personal items or window coverings prevent access to windows and surrounding areas. If concerned we recommend having all blocked/ concealed windows inspected once stored items have been removed.

(4) Condensation was observed between the panes of glass at several windows throughout the house. This occurs when the seal has failed between the panes of glass, and ambient air has entered the assembly. Replacement of the glass is required. Since some failed windows may not be easily found due to changing ambient conditions (heat, humidity, etc). We recommend having all of the windows reviewed by a licensed window contractor to determine how many windows require repair/ replacement. We recommend repairing or replacing all windows that have failed window seals by a licensed window contractor.



2.6.A Item 2(Picture)



2.6.A Item 3(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items



2.6.A Item 4(Picture)

(5) Casement window(s) had missing crank handles at several windows throughout the house. These windows could not be tested for proper operation. We recommend replacing the handles and testing these windows for proper operation prior to the end of your contingency period.



2.6.A Item 5(Picture)

IN NI NP RR IO Items

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2.6.A Item 6(Picture)



2.6.A Item 7(Picture)



2.6.A Item 8(Picture)

(6) Damaged seals were observed between the panes of glass at several window(s). This can be caused by exposure to the sun (excessive heat) or a manufacturing flaw. Replacement of the insulated unit is needed to restore visibility. We recommend having

IN NI NP RR IO Items

all of the windows reviewed by a qualified licensed window contractor to determine how many windows require repair/replacement.



2.6.A Item 9(Picture)



2.7.A SAFETY GLASS (EXTERIOR)

Comments:

The glass at the glass doors is tempered, which is indicated by a stamp or marking on the glass.



2.8.A DRIVEWAYS, PATIOS, WALKWAYS (HARDSCAPE)

Comments:

Some damaged wood is observed at the patio cover at several areas. We recommend referring to the pest inspection report for a detailed evaluation of the wood. We also recommend necessary repairs or replacing the damaged wood as needed by a qualified licensed contractor.



2.8.A Item 1(Picture)

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2.8.A Item 2(Picture)

2.9.A OUTLETS/ WIRING/ FIXTURES

2.10.A IRRIGATION

Comments:

Landscape sprinklers or irrigation systems are beyond the scope of our general home inspection. We did not inspect or check any type of landscape sprinklers or irrigation systems. We recommend verifying that the landscape sprinklers or irrigation systems are functional by a qualified person prior to the end of your contingency period.

2.11.A EXTERIOR - OTHER

Comments:

Note: 1) The soil grade should be maintained at least 4 inches below the top of the foundation and not in contact with wood products. This helps to prevent moisture damage and termite infestation. 2) The condition and/ or presence of flashing, including window and door flashing, is hidden behind the exterior siding and cannot be viewed. The inspector relies on signs of leakage at the interior to determine the fitness of this component. 3) Minor cracks in stucco finishes are to be expected and will normally not effect the integrity of stucco siding or the waterproofing system. 4) Exterior wood members are prone to damage. Regular maintenance, including painting is needed often to prevent damage. All gaps in the siding and trim should be sealed or otherwise maintained to prevent water intrusion. 5) We do not identify wood damaged by moisture and pests. Inspection by a qualified licensed pest inspection company is needed to report on such damage and is strongly recommended.

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2(B) . Main House Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



Property Notes: Identifying the location of property lines, easements, and other property restrictions, and their implications to existing structures are beyond the scope of our general home inspection.

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2.0.B EXTERIOR (GENERAL COMMENTS)

Comments:

Unsecured items in a yard may be hazardous. Inspecting unsecured items for proper installation is beyond the scope of our general home inspection. We recommend that any unsecured items be checked by you or by a qualified person to ensure proper installation.

2.1.B VEGETATION (WITH RESPECT TO ITS EFFECT ON THE BUILDING)

Comments:

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(1) Tree(s) and/or large plants are located too close to the house. Tree limbs/vegetation that are too close to the house can cause damage in several ways. Limbs or vines in contact with roof or hanging near roof should be trimmed to prevent damage to roof and/or to prevent rodent infestation. Also, as the plants grow, damage can occur to the siding, concrete flat work and to the foundation. We recommend having the foliage removed or trimmed by a qualified professional to prevent damage to the house as soon as possible.



2.1.B Item 1(Picture)



2.1.B Item 2(Picture)

(2) Vegetation is in contact with the siding/ stucco at several areas. Vegetation can create moisture problems by preventing siding from drying out. Vegetation also allows rodents to easily access the roof where they can enter through small voids. We recommend removing vegetation from the siding/ stucco. We also recommend referring to the pest control report for their recommendations.



2.2.B GRADING AND DRAINAGE (WITH RESPECT TO ITS EFFECT ON THE BUILDING)

LOT TYPE: FLAT, GENTLE SLOPE

LOT DRAINAGE: BURRIED DRAIN LINES

Comments:

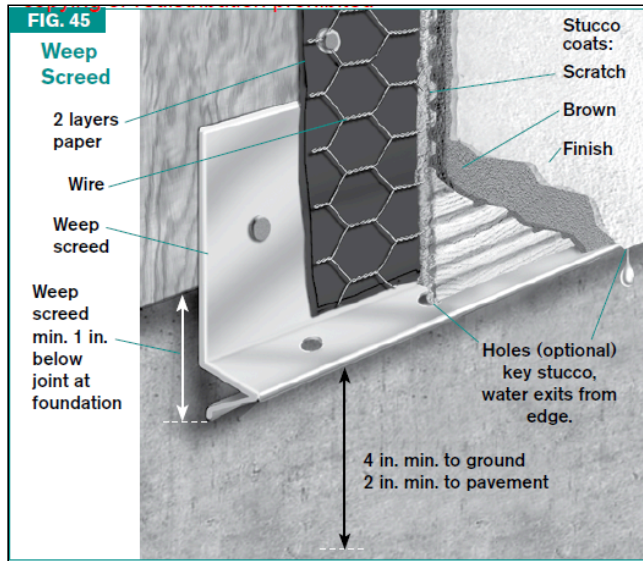
(1) The stucco/weep screed is in contact with ground at several areas. The weep screed is the metal band at the base of the stucco which has holes to allow the stucco

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IN NI NP RR IO Items

to "breathe" and water to "weep" from the stucco. Having the soil above the weep screed can lead to stucco damage due to limited air flow. We recommend a ground clearance of four inches where possible allow for proper drainage and for ventilation of the stucco walls. Dirt in contact with the stucco can promote deterioration, including rot, pest infestation, and water intrusion during rain. We recommend further evaluation and necessary corrections by a qualified licensed contractor.



2.2.B Item 1(Picture)



2.2.B Item 2(Picture)

IN NI NP RR IO Items

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2.2.B Item 3(Picture)

(2) Ground drain lines were visible in the yard at several areas. These drains are not tested for functional flow or adequacy. It is important to maintain these drains and prevent debris from entering. We recommend having all ground drain lines inspected and cleaned after moving into the property and on a periodic basis by a qualified person.



2.3.B WALL CLADDING FLASHING AND TRIM

SIDING MATERIAL: STUCCO

Comments:

(1) Some damaged wood is observed at several areas. We recommend referring to the pest inspection report for a detailed evaluation of the wood. We also recommend necessary repairs or replacing the wood siding as needed by a qualified licensed contractor.



2.3.B Item 1(Picture)



2.3.B Item 2(Picture)

(2) Hairline cracking was observed at the stucco at several areas. The cracks are less than 1/8 inch in width, and generally considered common in this material. These cracks should be caulked and painted where possible. If cracks increase in width, it may indicate that structural movement is occurring. Determining this is beyond the scope of a home inspection.

(3) Planter boxes are installed against the home. Earth to siding contact is observed. We advise referring to the pest control report. Watering near the home can cause water damage and structural settlement. We recommend necessary corrections such as installing zero scape, drought tolerate plants or removing the planter boxes.



2.3.B Item 3(Picture)

IN NI NP RR IO Items

(4) The stucco screed flashing is rusted at several areas around the house. The stucco screed flashings may have too much rust and damage and may need to be replaced. We recommend further evaluation by a stucco repair contractor and necessary repairs or replacement made as needed and we recommend adjusting the sprinklers to spray away from the house.



2.3.B Item 4(Picture)

(5) Routine Maintenance Tip: Seal all gaps, cracks and openings in the stucco. This includes cracks around windows and doors, gaps between flashing and stucco and small holes in the siding. This is a normal maintenance item and should be done on an annual basis. Small cracks and gaps can cause big problems over time due to water infiltration and pest infestation.

(6) There is damaged/ deteriorated stucco observed at several areas. We recommend necessary repairs where needed by a licensed stucco contractor.



2.3.B Item 5(Picture)

2.4.B EAVES, SOFFITS, FASCIAS

Comments:

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IN NI NP RR IO Items

Paint is failing at the eaves at several areas and needs prep and paint. We recommend prep and paint where needed by a licensed paint contractor.



2.4.B Item 1(Picture)



2.5.B DOORS (EXTERIOR)

Comments:

(1) A pet door is present at and exterior left side door. These modifications can cause damage to the door by letting in rain. These modifications can also reduce the security of the door by making it easier for someone to enter or reach inside and unlock the door. We recommend sealing the door or replacing the door by a qualified person



2.5.B Item 1(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items

(2) One of the rear patio exterior door handles is loose/damaged. We recommend repairs/replacement where needed by a qualified licensed contractor.

(3) **Safety Tip:** The hinges installed at the exterior door at the left side do not appear to have security hinges. When the hinge pin is accessible from the exterior, the hinge must be specifically intended for this installation so they are tamper proof. Standard hinges are subject to having the pins removed allowing the doors to be opened. We recommend having at least one security hinge installed at each door for security by a qualified contractor.



2.5.B Item 2(Picture)



2.6.B WINDOWS (INTERIOR AND EXTERIOR)

WINDOWS: DOUBLE PANE WOOD

Comments:

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IN NI NP RR IO Items

(1) Condensation was observed between the panes of glass at several windows throughout the house. This occurs when the seal has failed between the panes of glass, and ambient air has entered the assembly. Replacement of the glass is required. Since some failed windows may not be easily found due to changing ambient conditions (heat, humidity, etc). We recommend having all of the windows reviewed by a licensed window contractor to determine how many windows require repair/ replacement. We recommend repairing or replacing all windows that have failed window seals by a licensed window contractor.



2.6.B Item 1(Picture)



2.6.B Item 2(Picture)

IN NI NP RR IO Items

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2.6.B Item 3(Picture)

(2) Dual Pane Window Note - Failed seals in insulated glass dual pane windows are not always visible or detectable. In some instances the home inspector may not be able to disclose the exact condition of every window, depending on the ambient conditions or if the windows are dirty at the time of the inspection. Windows are reported as they are observed at the time of the inspection only. If you have present or future concerns regarding the integrity of the dual pane thermal seals, we strongly recommend that you consult with a qualified licensed window contractor for further evaluation. This inspection is not a guarantee of any kind regarding the integrity of the dual pane windows.

2.7.B SAFETY GLASS (EXTERIOR)

2.8.B DRIVEWAYS, PATIOS, WALKWAYS (HARDSCAPE)

DRIVEWAY: CONCRETE

Comments:

IN NI NP RR IO Items

(1) Some damaged wood is observed at the patio cover at several areas. We recommend referring to the pest inspection report for a detailed evaluation of the wood. We also recommend necessary repairs or replacing the damaged wood as needed by a qualified licensed contractor.



2.8.B Item 1(Picture)

(2) There are several cracks in the concrete driveway. We recommend necessary repairs by a licensed concrete contractor.



2.8.B Item 2(Picture)

2.9.B EXTERIOR STAIRS/ STEPS

Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

There is no handrail installed at the front yard exterior stairs/ steps. A handrail is required at least one side of the stairs when four or more steps are present. This is a safety hazard and corrections are needed. We recommend installing a handrail for safety by a qualified licensed contractor.

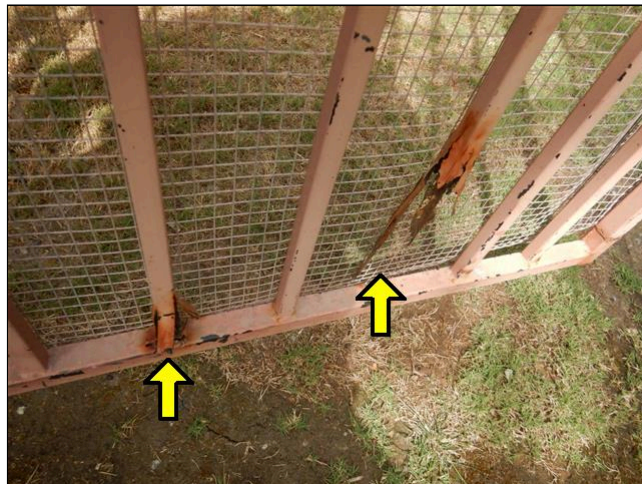


2.9.B Item 1(Picture)

2.10.B FENCE AND/OR GATES

Comments:

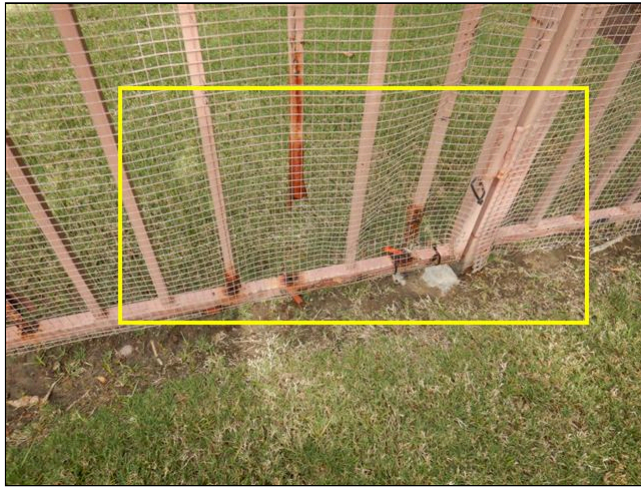
(1) The wrought iron fence is rusted and/ or damaged at several areas. This is commonly caused by sprinkler over-spray. We recommend repair or replacement by a fence contractor and adjusting the sprinklers away from the wrought iron fencing to prevent further/ future damage.



2.10.B Item 1(Picture)

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2.10.B Item 2(Picture)

(2) Without a barrier between the house and the pool, door alarms should be installed on all house doors that lead to the pool area. We recommend installing door alarms in accordance with your local building requirements. Typically a pool technician or alarm company will have the proper equipment. We recommend installation prior to moving into the house.

(3) Inspection of the fencing, landscape, and boundary walls lies beyond the scope of the general home inspection. The inspector may report on defects observed near the home. However, due to the size of this homesite, fences, landscape and boundary walls not in contact with the home were not inspected. If concerned we recommend further evaluation by a qualified licensed contractor prior to the end of your contingency period.

(4) The gates at the pool fence swings inward. This is incorrect and repairs are needed for safety. Pool gates must swing away from the pool area. We recommend necessary corrections by a qualified person for safety.



2.10.B Item 3(Picture)

(5) The self-closing device at the pool gates do not close the gates. Gates providing access to the pool area must self close and latch without assistance. This is a safety concern. We recommend necessary repairs by a qualified person.

(6) The gates that give pool access are not compliant with common safety standards and should be corrected for safety. To help prevent child drowning, pool/spa area

IN NI NP RR IO Items

fencing and gates should be sixty inches tall and be non-climbable. Gates are required to self-close and include latches at forty-eight inches, and should open away from a pool or spa (so that a toddler could not push open an unlatched gate). We recommend further evaluation and necessary corrections and repairs by a licensed fence contractor or pool contractor.

(7) Vegetation is growing on the fence in several areas. Vegetation can hold moisture to the fence and cause excessive weight and damage. We recommend trimming back and removing the vegetation by a qualified licensed landscaper.



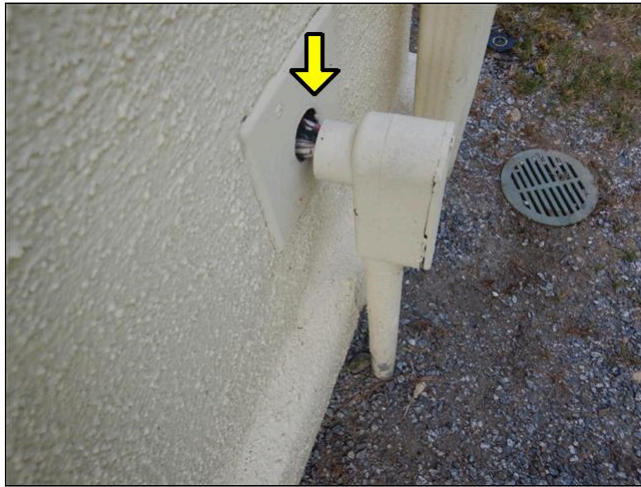
2.10.B Item 4(Picture)



2.11.B OUTLETS/ WIRING/ FIXTURES

Comments:

A gap is observed at the right side conduit. We recommend necessary repair or replacement by a qualified person.



2.11.B Item 1(Picture)



2.12.B IRRIGATION

Comments:

Landscape sprinklers or irrigation systems are beyond the scope of our general home inspection. We did not inspect or check any type of landscape sprinklers or irrigation

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systems. We recommend verifying that the landscape sprinklers or irrigation systems are functional by a qualified person prior to the end of your contingency period.



2.13.B ADDITIONAL BUILDINGS/ STRUCTURES ON THE PROPERTY

Comments:

We did not inspect any additional buildings or structures on the property. I only inspected the main structure on the property. Deficiencies may exist with these structures or building (s). Our company makes no representation to the condition of these structures or building (s). We do recommend that any and all additional buildings on the property be inspected prior to the end of your contingency period.



2.14.B EXTERIOR - OTHER

Comments:

Note: 1) The soil grade should be maintained at least 4 inches below the top of the foundation and not in contact with wood products. This helps to prevent moisture damage and termite infestation. 2) The condition and/ or presence of flashing, including window and door flashing, is hidden behind the exterior siding and cannot be viewed. The inspector relies on signs of leakage at the interior to determine the fitness of this component. 3) Minor cracks in stucco finishes are to be expected and will normally not effect the integrity of stucco siding or the waterproofing system. 4) Exterior wood members are prone to damage. Regular maintenance, including painting is needed often to prevent damage. All gaps in the siding and trim should be sealed or otherwise maintained to prevent water intrusion. 5) We do not identify wood damaged by moisture and pests. Inspection by a qualified licensed pest inspection company is needed to report on such damage and is strongly recommended.

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3(A) . Guest House Electrical

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



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3.0.A SUB PANEL

Comments:

(1) [Photo of the sub electrical panel.](#)



3.0.A Item 1(Picture)

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3.0.A Item 2(Picture)



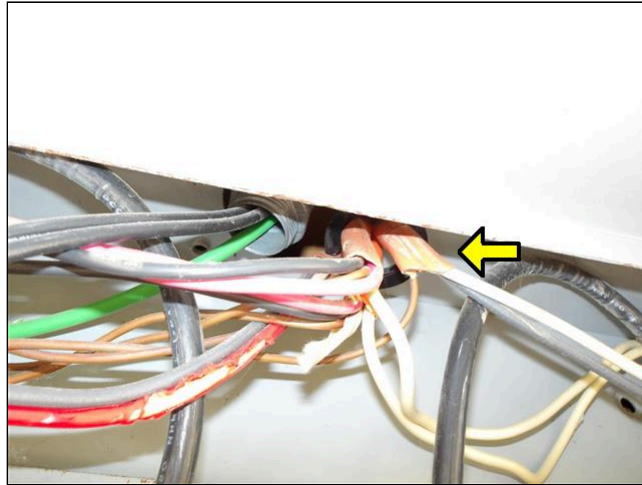
3.0.A Item 3(Picture)

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IN NI NP RR IO Items

(2) A knockout is noted missing from inside the sub electrical panel. When a knockout is removed and left empty a cover plug is required to be installed to prevent rodent intrusion for fire safety. We recommend installing knockout plug(s) where needed by a qualified licensed electrician for safety.



3.0.A Item 4(Picture)



3.1.A CIRCUIT BREAKERS/ FUSES

PANEL TYPE: CIRCUIT BREAKERS

Comments:

(1) **Photo inside of the sub electrical panel.**

The dead front cover was removed at the time of the inspection and the breakers, wiring and grounding were inspected. Appears to be functioning as intended.



3.1.A Item 1(Picture)

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3.1.A Item 2(Picture)

(2) **Photo inside of the main electrical panel.**

The dead front cover was removed at the time of the inspection and the breakers, wiring and grounding were inspected. Appears to be functioning as intended.

(3) **Photo inside of the sub electrical panel.**

The dead front cover was removed at the time of the inspection and the breakers, wiring and grounding were inspected. Appears to be functioning as intended.



3.1.A Item 3(Picture)



3.1.A Item 4(Picture)



3.2.A BRANCH CIRCUIT CONDUCTORS/ WIRING

BRANCH WIRE 15 AND 20 AMP: COPPER

WIRING METHODS: ROMEX, CONDUIT

Comments:

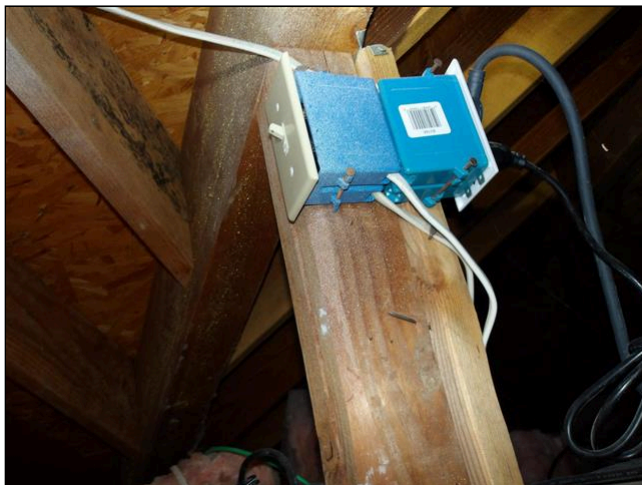
(1) Wires for some lighting fixtures in the attic space were observed to be unsecured. We recommend necessary corrections by a qualified licensed electrician.



3.2.A Item 1(Picture)

IN NI NP RR IO Items

(2) Unprotected Romex was present in the detached house attic adjacent to the attic scuttle. Romex located within 6 feet of the attic scuttle must be protected from damage. We recommend adding protection to the Romex in attic by the access a qualified licensed electrician.

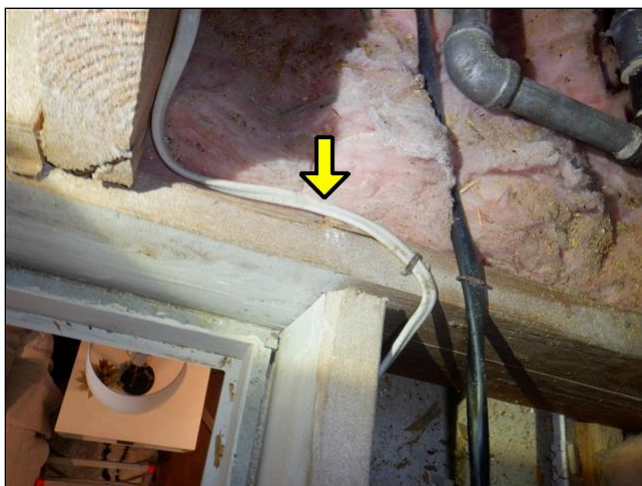


3.2.A Item 2(Picture)

(3) Due to wall coverings or other obstructions, the entire branch circuit wiring throughout the home was not possible to fully observe. Damage to the insulation or wiring itself can be present in a non-visible locations. You may wish to have the branch circuit wiring further explored to determine if any latent defects exist by a qualified licensed electrician prior to the end of your contingency period

(4) Home inspectors do not evaluate individual circuits for capacities, or identify which receptacles are on a particular circuit, or verify the labeling of the breakers. If concerned about the capacity of individual circuits for their capacities and the correct labeling of the breakers we recommend further evaluation by a qualified licensed electrician prior to the end of your contingency period for verification of these items.

(5) Unprotected Romex was present in the attic adjacent to the attic scuttle. Romex located within 6 feet of the attic scuttle must be protected from damage. We recommend adding protection to the Romex in attic by the access a qualified licensed electrician.



3.2.A Item 3(Picture)

(6) Home inspectors do not evaluate individual circuits for capacities, or identify which

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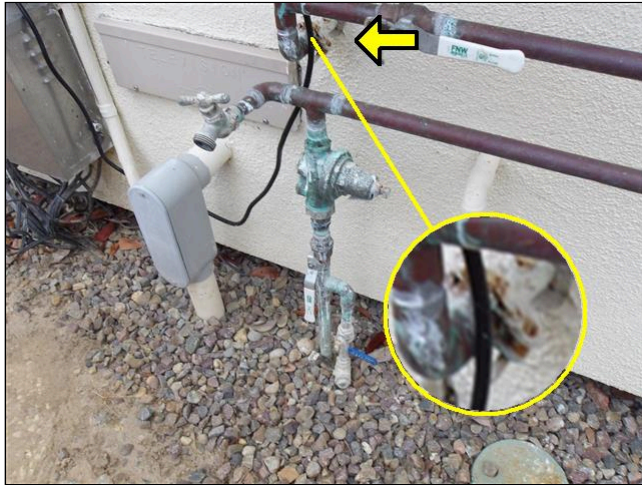
IN NI NP RR IO Items

receptacles are on a particular circuit, or verify the labeling of the breakers. If concerned about the capacity of individual circuits for their capacities and the correct labeling of the breakers we recommend further evaluation by a qualified licensed electrician prior to the end of your contingency period for verification of these items.

3.3.A SERVICE AND GROUNDING EQUIPMENT

Comments:

The electrical system appears to be grounded through the plumbing system only which was standard at the time of construction. Newer homes have a separate ground rod which improves grounding. We recommend having a ground rod and wire installed by a qualified licensed electrician to improve grounding and safety.



3.3.A Item 1(Picture)

3.4.A CONNECTED DEVICES AND FIXTURES (REPRESENTATIVE NUMBER)

Comments:

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(1) Several lights throughout the house did not function when tested possibly due to bad bulbs or a miss wired fixtures. Occasionally there may something wrong with the fixtures which cannot be determined without a working bulb. We recommend asking the seller to demonstrate that theses lights are working prior to the end of the inspection contingency period, or changing the bulbs and testing again. If these lights do not function we recommend further evaluation by a qualified licensed electrician and necessary repairs or replacement as needed.



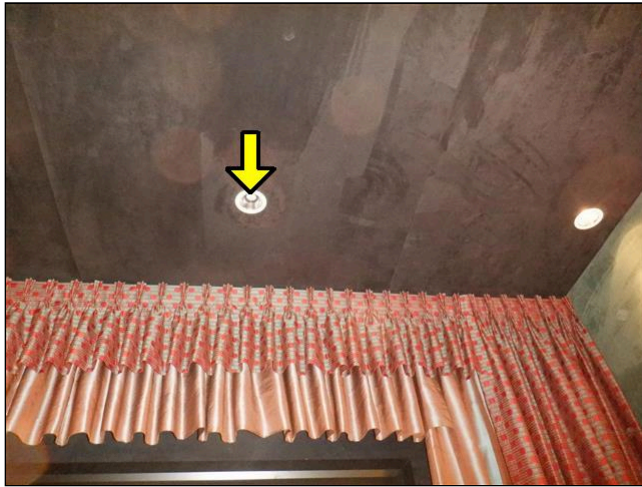
3.4.A Item 1(Picture)



3.4.A Item 2(Picture)

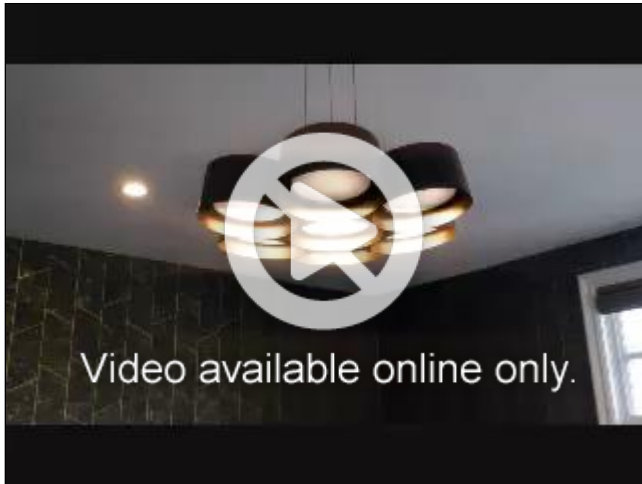
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3.4.A Item 3(Picture)

(2) The upstairs right side media room over head light was flickering when operated at the time of the inspection. This is non standard. We recommend further evaluation by a licensed electrician and have necessary repairs/replacement made where needed.



3.4.A Item 4(Video)



3.5.A SWITCHES

Comments:

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IN NI NP RR IO Items

(1) I was unable to determine the function of the switch in the master bedroom. We recommend further evaluation by a qualified licensed electrician and repairs made as needed.



3.5.A Item 1(Picture)



3.5.A Item 2(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items

(2) Several light switch dimmer covers are missing at several switches. We recommend replacement by a where needed qualified person.



3.5.A Item 3(Picture)

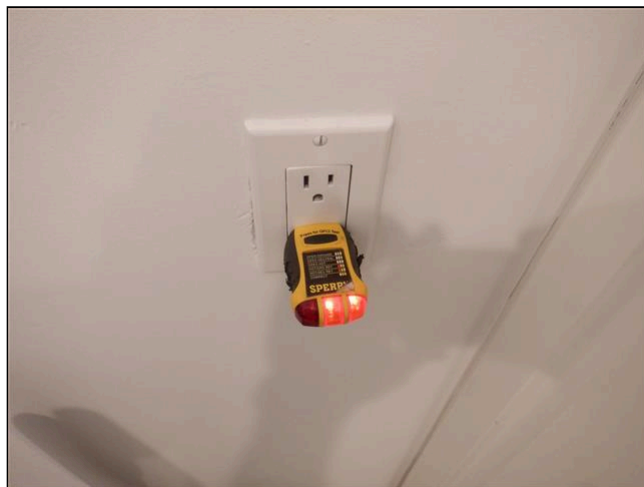


3.6.A POLARITY AND GROUNDING (OF A REPRESENTATIVE NUMBER OF RECEPTACLES)

Comments:

- (1) A representative number of receptacles throughout the property were tested for power, polarity and grounding according to our standards-of-practice. These receptacles observed to be ok at the time of the inspection unless otherwise noted.
- (2) **Photo of a receptacle being tested.**

A representative number of receptacles throughout the property were tested for power, polarity and grounding according to our standards-of-practice. These receptacles observed to be ok at the time of the inspection unless otherwise noted.



3.6.A Item 1(Picture)

IN NI NP RR IO Items

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3.6.A Item 2(Picture)



3.7.A RECEPTACLE(S) ISSUES

Comments:

Several receptacles were found to be loose in the wall at several areas throughout the interior/exterior of the detached house. We recommend necessary repairs where needed by a licensed electrician.



3.7.A Item 1(Picture)



3.8.A 220 OUTLET(S)

Comments:

IN NI NP RR IO Items

(1) The 220V outlet in the laundry area functioned when tested at the time of the inspection.



3.8.A Item 1(Picture)

(2) There is a three prong 220 volt receptacle installed for the dryer. Most new electric dryers require a four prong receptacle. If you install an electric dryer, you may need to upgrade the receptacle or the dryer power cord. We recommend necessary corrections by a qualified licensed electrician.



3.8.A Item 2(Picture)

3.9.A OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

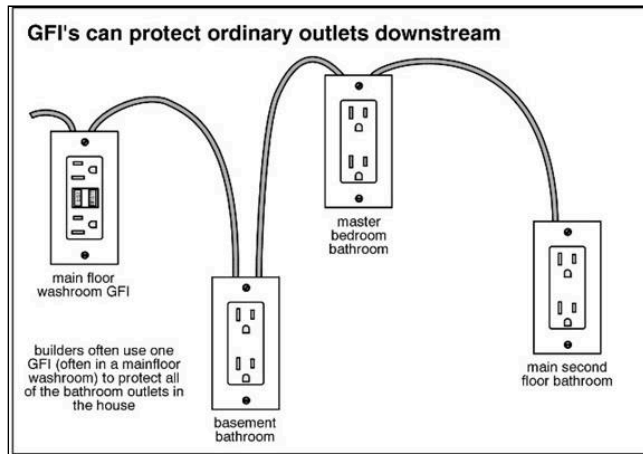
Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

(1) All accessible GFCI receptacles were tested and were functioning properly at the time of the inspection unless otherwise reported. Sometimes a tripped GFCI receptacle may be difficult to find. If you do not have power at certain receptacles please check all GFCI's and reset the tripped GFCI receptacle. If the GFCI doesn't reset than replacement of the GFCI receptacle will be required.



3.9.A Item 1(Picture)

(2) The GFCI receptacles located at the exterior of the detached house are not operating properly, or has failed as it did not trip when tested. The outlet may be defective or mis-wired. We recommend replacement by a qualified licensed electrician.



3.9.A Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(3) We recommend upgrading all receptacles within 6 feet of any plumbing fixtures, outside/ exterior, in the garage, and any non fixed appliance receptacles in the kitchen to GFCI protected receptacles by a qualified licensed electrician for safety.

(4) Definition: A ground-fault is an unintentional electrical path between a source of electrical current and a grounded surface. Electrical shock can occur if a person comes into contact with an energized part. GFCI's (ground-fault circuit-interrupters) can greatly reduce the risk of shock by immediately shutting off an electrical circuit when that circuit represents a shock hazard (i.e., a person comes in contact with a faulty appliance together with a grounded surface). GFCI's can be installed in a circuit breaker panel board or directly in a receptacle outlet.

(5) The GFCI outlet in master bathroom is a non-grounded outlet which is legal, but not as safe as a grounded GFCI. Non-grounded GFCI protected receptacles require a label stating "No Equipment Ground". We recommend labeling for safety or having this outlet grounded by a qualified licensed electrician.

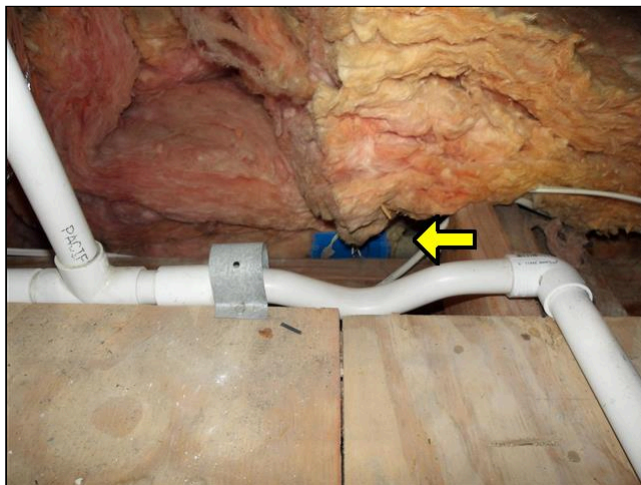


3.9.A Item 3(Picture)

3.10.A JUNCTION BOXES (OBSERVABLE)

Comments:

Several open junction boxes were observed in the attic. All electrical splices must be enclosed in a junction box. We recommend necessary repairs by a qualified person for safety.



3.10.A Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items



3.11.A EXTERIOR LIGHTING

EXTERIOR LIGHTING CONTROL: STANDARD SWITCHED

Comments:

A representative number of exterior lights were tested and were found to be functional at the time of the inspection.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. All electrical concerns/ defects should be considered a safety concern and should be corrected.

3(B) . Main House Electrical



The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

3.0.B MAIN PANEL

MAIN PANEL CAPACITY: 200 AMP
ELECTRIC SERVICE CONDUCTORS: BELOW GROUND, COPPER, 220 VOLTS

Comments:

- (1) [Photo of the main electrical panel.](#)



3.0.B Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

- (2) The main panel breakers are illegible or confusing. We recommend having the breakers properly labeled for safety by a qualified person.
- (3) A knockout is noted missing from inside the main electrical panel. When a knockout is removed and left empty a cover plug is required to be installed to prevent rodent intrusion for fire safety. We recommend installing knockout plug(s) where needed by a qualified licensed electrician for safety.



3.0.B Item 2(Picture)



3.1.B SUB PANEL

Comments:

- (1) **Photo of the sub electrical panel.**



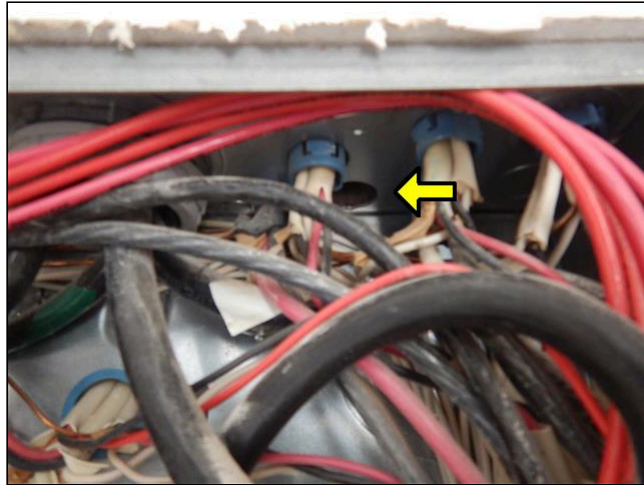
3.1.B Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(2) A knockout is noted missing from inside the sub electrical panel. When a knockout is removed and left empty a cover plug is required to be installed to prevent rodent intrusion for fire safety. We recommend installing knockout plug(s) where needed by a qualified licensed electrician for safety.



3.1.B Item 2(Picture)



3.2.B CIRCUIT BREAKERS/ FUSES

PANEL TYPE: CIRCUIT BREAKERS

Comments:

(1) [Photo inside of the main electrical panel.](#)

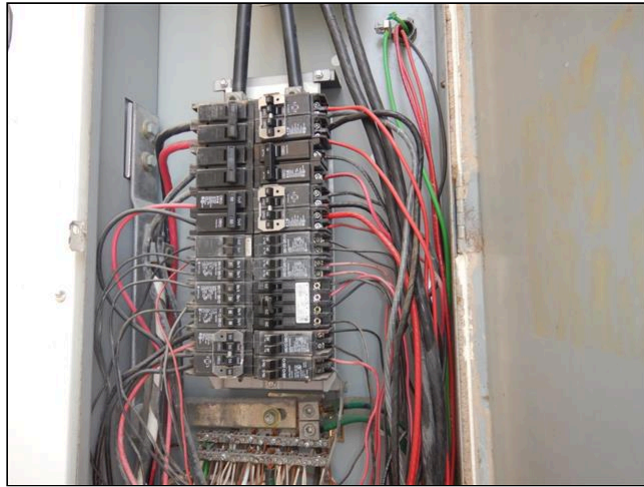
The dead front cover was removed at the time of the inspection and the breakers, wiring and grounding were inspected. Appears to be functioning as intended.



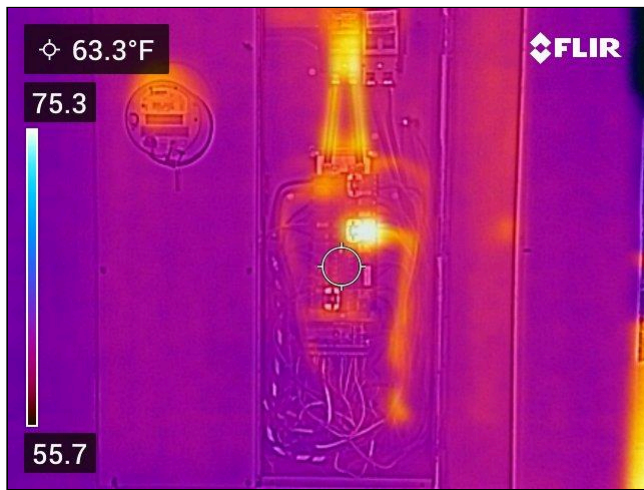
3.2.B Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



3.2.B Item 2(Picture)



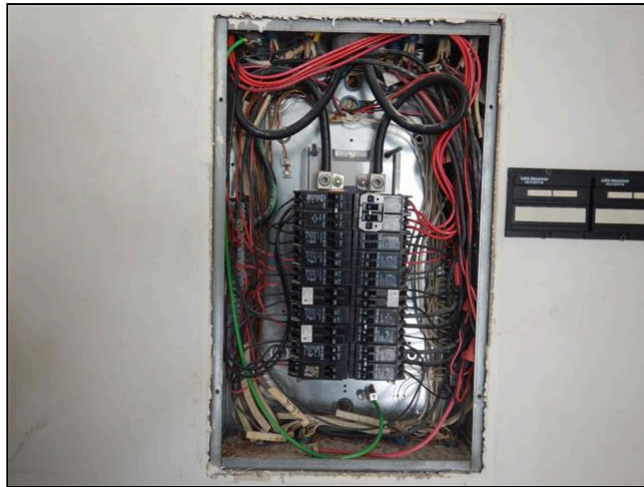
3.2.B Item 3(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

(2) **Photo inside of the sub electrical panel.**

The dead front cover was removed at the time of the inspection and the breakers, wiring and grounding were inspected. Appears to be functioning as intended.



3.2.B Item 4(Picture)



3.2.B Item 5(Picture)



3.3.B BRANCH CIRCUIT CONDUCTORS/ WIRING

BRANCH WIRE 15 AND 20 AMP: COPPER
WIRING METHODS: ROMEX

Comments:

Home inspectors do not evaluate individual circuits for capacities, or identify which receptacles are on a particular circuit, or verify the labeling of the breakers. If concerned about the capacity of individual circuits for their capacities and the correct labeling of the breakers we recommend further evaluation by a qualified licensed electrician prior to the end of your contingency period for verification of these items.



3.4.B SERVICE AND GROUNDING EQUIPMENT

Comments:

IN NI NP RR IO Items

The electrical system appears to be grounded through the plumbing system only which was standard at the time of construction. Newer homes have a separate ground rod which improves grounding. We recommend having a ground rod and wire installed by a qualified licensed electrician to improve grounding and safety.



3.5.B CONNECTED DEVICES AND FIXTURES (REPRESENTATIVE NUMBER)

Comments:

(1) The BBQ area ceiling fan did not work when tested at the time of the inspection. We recommend further evaluation by a qualified person and repairs or replacement made as necessary.



3.5.B Item 1(Picture)

(2) A light at the BBQ area did not function when tested possibly due to a bad bulb or a miss wired fixture. Occasionally there may something wrong with the fixture which cannot be determined without a working bulb. We recommend asking the seller to demonstrate that the light is working prior to the end of the inspection contingency period, or changing the bulb and testing again. If the light does not function we recommend further evaluation by a qualified licensed electrician and necessary repairs or replacement as needed.



3.5.B Item 2(Picture)



3.6.B SWITCHES

IN NI NP RR IO Items

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IN NI NP RR IO Items

3.7.B POLARITY AND GROUNDING (OF A REPRESENTATIVE NUMBER OF RECEPTACLES)

Comments:

[Photo of a receptacle being tested.](#)

A representative number of receptacles throughout the property were tested for power, polarity and grounding according to our standards-of-practice. These receptacles observed to be ok at the time of the inspection unless otherwise noted.

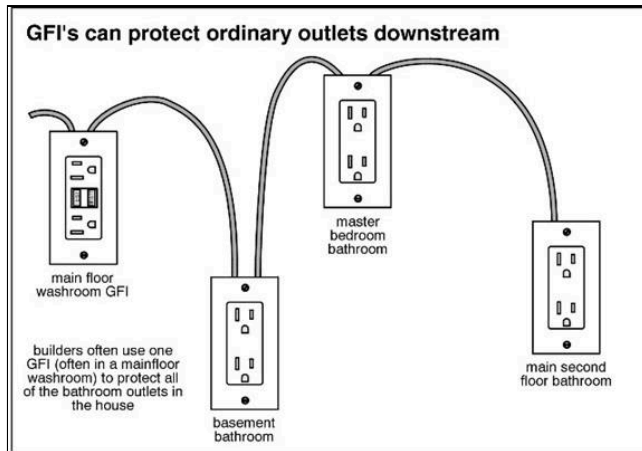
3.8.B RECEPTACLE(S) ISSUES

3.9.B 220 OUTLET(S)

3.10.B OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments:

(1) All accessible GFCI receptacles were tested and were functioning properly at the time of the inspection unless otherwise reported. Sometimes a tripped GFCI receptacle may be difficult to find. If you do not have power at certain receptacles please check all GFCI's and reset the tripped GFCI receptacle. If the GFCI doesn't reset than replacement of the GFCI receptacle will be required.



3.10.B Item 1(Picture)

(2) We recommend upgrading all receptacles within 6 feet of any plumbing fixtures, outside/ exterior, in the garage, and any non fixed appliance receptacles in the kitchen to GFCI protected receptacles by a qualified licensed electrician for safety.

3.11.B OPERATION OF AFCI (ARC FAULT CIRCUIT INTERRUPTERS)

3.12.B JUNCTION BOXES (OBSERVABLE)

3.13.B EXTERIOR LIGHTING

EXTERIOR LIGHTING CONTROL: STANDARD SWITCHED

Comments:

IN NI NP RR IO Items

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(1) The exterior light fixtures were not sealed where the fixture meets the wall. This condition could allow moisture intrusion in this area. We recommend sealing exterior light fixtures where they meet the wall by a qualified person.



3.13.B Item 1(Picture)



3.13.B Item 2(Picture)

(2) A representative number of exterior lights were tested and were found to be functional at the time of the inspection.

3.14.B CENTRAL VACUM

Comments:

IN NI NP RR IO Items

The central vacuum system is beyond the scope of the home inspection and was not inspected. We recommend verifying that the central vacuum system is operational and all the components are present prior to the end of your contingency period.



3.14.B Item 1(Picture)

IN NI NP RR IO Items

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. All electrical concerns/ defects should be considered a safety concern and should be corrected.

4. Garage

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Garage door operators; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Garage door operator remote control transmitters, Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments. The home inspector is not required to: Move personal items, panels, furniture, equipment that obstructs access or visibility.



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IN NI NP RR IO Items

4.0 GARAGE VEHICLE DOOR(S)

GARAGE VEHICLE DOOR MATERIAL: METAL - PANEL

Comments:

- (1) The garage vehicle door hardware including the doors, tracks, and springs appear to be functioning as intended.
- (2) The side weather seal is damaged at one the garage vehicle door. We recommend replacing the weather seal by a qualified licensed garage door contractor.



4.0 Item 1(Picture)

4.1 GARAGE VEHICLE DOOR OPENER(S)

Comments:

- (1) Due to the high number of garage door openers that fail to auto-reverse when testing the garage door openers pressure-activated auto-reverse feature which could cause severe damage to the garage door and its related components when it fails to auto-reverse, we did not test the garage door openers pressure-activated auto-reverse feature at the time of the inspection. We recommend having the garage door(s) pressure-activated auto-reverse feature tested prior to the end of your contingency period by a qualified licensed garage door contractor.
- (2) Sensors are in place, were tested, and will reverse all 4 garage doors.

4.2 GARAGE CEILING

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

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4.3 GARAGE WALLS (INCLUDING FIREWALL SEPERATION)

Comments:

Due to occupants personal items, not all areas of the property were visible and accessible at the time of the inspection. Several windows, doors, outlets, walls, flooring, and other areas were obstructed from view and could not be inspected. The home inspector does not move personal items, panels, furniture, equipment, plant life, soil, debris, ect. that obstructs their access or visibility. We recommend that you conduct a careful evaluation during your final walk-through or prior to the end of your contingency period to ensure that there are no hidden defects. All doors, windows, and outlets should be tested and verified for proper operation prior to the end of your contingency period by a qualified person. If any damage is observed we recommend asking the seller about it. We recommend that any damage found be repaired or replaced by a qualified licensed contractor in the appropriate trade.

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4.4 GARAGE FLOOR/ SLAB

Comments:

(1) There is turf and rubber tiles installed on/ over the garage slab. The garage slab is not visible to inspect. These materials can trap spilled flammable liquids. This condition is a fire and a safety hazard. We recommend removing the carpet and inspecting the slab prior to the end of your contingency period.



4.4 Item 1(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items

(2) Due to stored personal items not all areas throughout the property were visible and accessible at the time of the inspection. The slab and other areas were obstructed from view and could not be inspected. The home inspector does not move personal items, panels, furniture, equipment, plant life, soil, debris, ect. that obstructs their access or visibility. We recommend that you conduct a careful evaluation during your final walk-through or prior to the end of your contingency period to ensure that there are no hidden defects. All doors, windows, and outlets should be tested and verified for proper operation prior to the end of your contingency period by a qualified person. If any damage is observed we recommend asking the seller about it. We recommend that any damage found be repaired or replaced by a qualified licensed contractor in the appropriate trade.

(3) The garage slab is deteriorated/ pitted in several areas. We recommend necessary repairs by a qualified licensed foundation contractor.



4.4 Item 2(Picture)

(4) There is white efflorescence (powder substance) is observed on the garage stem wall and slab in some areas. This condition indicates that moisture is in contact with the masonry. We recommend checking the gutters, downspouts, and drain lines for proper operation. A water proofing paint could be applied the foundation if necessary. Efflorescence is found on many homes without water intrusion occurring. We recommend necessary corrections to help this condition from occurring.

4.5 FIRE-RATED DOOR

Comments:

The door between the house and the garage appears to be a fire rated door.

4.6 FIRE-DOOR CLOSING DEVICE

Comments:

A self-closing device was present at the fire door and was operating properly when tested. The door closes and latches within 3 seconds without assistance as required.

4.7 GARAGE PEDESTRIAN DOOR(S)

Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

Weather-stripping is damaged at the garage pedestrain door. We recommend installing weather-stripping by a qualified person.



4.7 Item 1(Picture)

4.8 OUTLETS/ FIXTURES/ WIRING/ 220V

4.9 POLARITY/ GROUNDING (RECEPTACLES)

IN NI NP RR IO Items

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The garage was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(A) . Guest House Water Heater

The home inspector shall observe: The water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing, the capacity of the water heating equipment if labeled. The Temperature Pressure Relief (TPR) valve is not tested because the TPR valve is prone to leaking once activated. The inspector is not required to: measure the capacity, temperature, age, life expectancy or adequacy of the water heater, evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.

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IN NI NP RR IO Items

5.0.A MAIN WATER HEATER (CONTROLS)

WATER HEATER YEAR MANUFACTURED: 2015
WATER HEATER POWER SOURCE: ELECTRIC
WATER HEATER CAPACITY: 28 GALLONS

Comments:

- (1) [Photo of the water heater.](#)



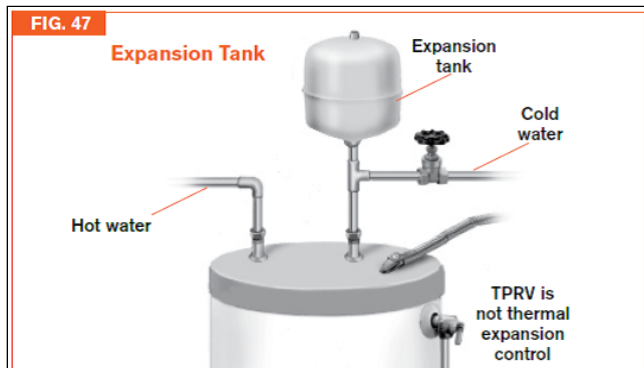
5.0.A Item 1(Picture)

IN NI NP RR IO Items

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(2) The water heater was inspected and was found to be operational at the time of the inspection. We did not evaluate the efficiency or recover rate of the water heater which is beyond the scope of a general home inspection. If concerned we recommend you consult a licensed plumber. We recommend flushing the water heater routinely as regular maintenance.

(3) The water heater does not have a "Thermal Expansion Tank" installed to prevent a possible leak at the T&P or "pop-off" valve. Recent changes in code require one when a new water heater is installed. This change is not retroactive on older previously installed Gas/LP water heaters. There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. We recommend installing a thermal tank by a qualified licensed plumber as an upgrade.



5.0.A Item 2(Picture)

(4) **Thermal Photo of the water temperature.**

The temperature of the water was tested using a thermal camera at the time of the inspection and found to be above 125 degrees. Water temperatures above 125 degrees can cause scalding or burns. Most water heater manufacturers recommend setting the water heater controls at 120 degrees for optimum efficiency. We recommend setting the water heater controls at 120 degrees by a qualified person for optimum efficiency.



5.0.A Item 3(Picture)

(5) There is an insulating blanket installed over the water heater. This prevented a full inspection of the water heater. Home inspectors do not remove insulating blankets. We

IN NI NP RR IO Items

recommend removal to help prevent moisture from being trapped between the blanket and tank which could lead to premature corrosion.



5.0.A Item 4(Picture)

(6) The leak pan under the water heater is too small because the insulating blanket was installed into the leak pan which took up the entire space of the pan. The leak pan should be 2 inches larger in diameter than the water heater. The current installation may not function properly in the event of a leak. We recommend replacing this leak pan with an appropriate sized leak pan by a qualified licensed plumber.



5.0.A Item 5(Picture)

(7) There is no electric disconnect in sight of the water heater or lockable disconnect at the circuit breakers. These are current standard requires. We recommend necessary corrections by a qualified licensed contractor as a safety upgrade.

5.1.A MAIN WATER HEATER (PLATFORM & STRAPPING)

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

- (1) The water heater is adequately strapped as required.
- (2) The water heater is improperly strapped as required. Seismic strapping is required to be installed at the top 1/3 of the water heater and 4 inches above the water heater controls. We recommend installing seismic straps by a qualified person.



5.1.A Item 1(Picture)

5.2.A MAIN WATER HEATER (TEMPERATURE & PRESSURE RELIEF VALVE)

5.3.A WATER HEATER OTHER

Comments:

We recommend further evaluation of the water heater and its related components prior to the end of your contingency period by a qualified licensed plumber due to the number of defects discovered at the time of the inspection. We recommend necessary repairs or replacement made as needed.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The water heater in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(B) . Main House Water Heater

The home inspector shall observe: The water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing, the capacity of the water heating equipment if labeled. The Temperature Pressure Relief (TPR) valve is not tested because the TPR valve is prone to leaking once activated. The inspector is not required to: measure the capacity, temperature, age, life expectancy or adequacy of the water heater, evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.

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IN NI NP RR IO Items

5.0.B MAIN WATER HEATER (CONTROLS)

WATER HEATER YEAR MANUFACTURED: 2018
WATER HEATER POWER SOURCE: NATURAL GAS
WATER HEATER CAPACITY: 100 GALLON

Comments:

- (1) [Photo of the water heater.](#)



5.0.B Item 1(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items

(2) The water heater was inspected and was found to be operational at the time of the inspection. We did not evaluate the efficiency or recover rate of the water heater which is beyond the scope of a general home inspection. If concerned we recommend you consult a licensed plumber. We recommend flushing the water heater routinely as regular maintenance.

(3) A gas leak test was conducted at accessible gas fittings at the water heater using a gas leak detector. A gas leak was detected at the water heater gas pipe at the time of the inspection. We recommend necessary repairs by a licensed plumber.



5.0.B Item 2(Picture)

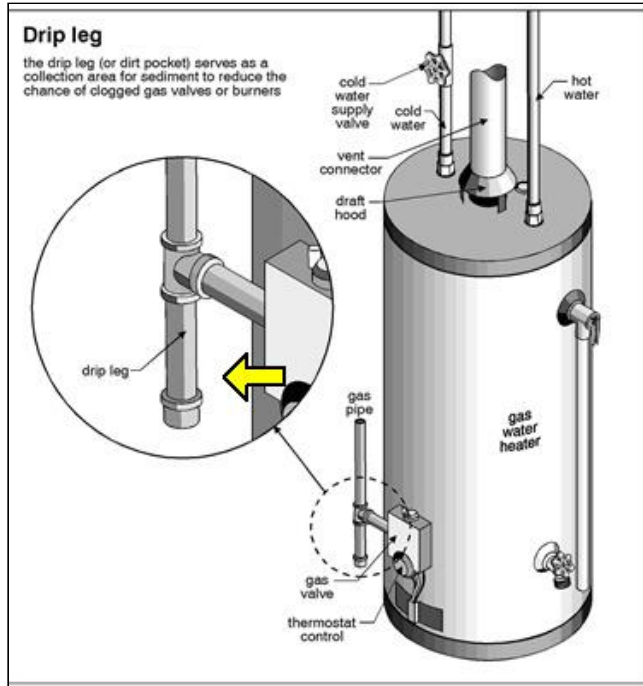
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IN NI NP RR IO Items

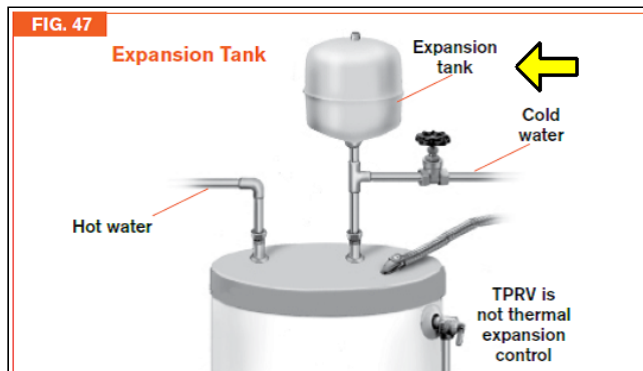
(4) A carbon monoxide test was performed using a hand held carbon monoxide detector during the inspection while testing the gas water heater. Carbon monoxide was detected at the water heater at the time of the inspection. We recommend further evaluation by a qualified licensed contractor and necessary repairs needed.

(5) The gas supply pipe at the water heater did not contain a drip leg/ sediment trap. This may have been standard at the time of installation but now is highly recommended. The purpose of a drip leg is to prevent sediment/ debris from entering and clogging the water heater gas valve which could cause the water heater to shut down. We recommend having a drip leg installed by a qualified licensed plumber.



5.0.B Item 3(Picture)

(6) The water heater does not have a "Thermal Expansion Tank" installed to prevent a possible leak at the T&P or "pop-off" valve. Recent changes in code require one when a new water heater is installed. This change is not retroactive on older previously installed Gas/LP water heaters. There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. We recommend installing a thermal tank by a qualified licensed plumber as an upgrade.



5.0.B Item 4(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

(7) **Thermal Photo of the water temperature.**

The temperature of the water was tested using a thermal camera during the inspection and was found to be operating within normal range.



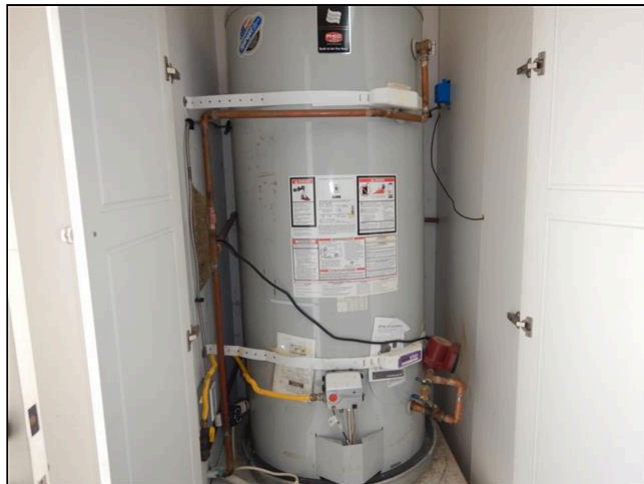
5.0.B Item 5(Picture)



5.1.B MAIN WATER HEATER (PLATFORM & STRAPPING)

Comments:

The water heater is improperly strapped as required. Seismic strapping is required to be installed at the top 1/3 of the water heater and 4 inches above the water heater controls. We recommend installing seismic straps by a qualified person.



5.1.B Item 1(Picture)



5.2.B MAIN WATER HEATER FLUE



5.3.B MAIN WATER HEATER (TEMPERATURE & PRESSURE RELIEF VALVE)

The water heater in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6(A) . Guest House Interior

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments. The home inspector is not required to: Move personal items, panels, furniture, equipment, or anything that obstructs access or visibility. Inspection of the home interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards. If concerned we recommend further evaluation by a qualified licensed professional in the appropriate trade prior to the end of your contingency period.



Note: All moisture stains should be investigated until the client is satisfied that the condition is sufficiently understood. Where there are concerns regarding water leaks or infiltration, we recommend that a qualified industrial hygienist evaluate for mold, fungus, or other microbial material prior to the end of your contingency period.

Determining if damage, the presence of organic growths, moisture or wood rot behind walls, base boards, floors and ceiling coverings is beyond the scope of our general home inspection. If you are concerned or believe that these conditions may exist in a nonvisible or concealed area, we recommend that you have this home further examined by a qualified contractor or environmental hygienist prior to the end of your contingency period.

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IN NI NP RR IO Items

6.0.A INTERIORS (GENERAL COMMENTS)

WALL/ CEILING MATERIAL: SHEETROCK

Comments:

(1) A representative sampling for moisture was performed at accessible interior walls using a moisture meter. (*areas prone to moisture, such as kitchens, bathrooms, below grade walls, exterior walls with doors/windows*). An elevated moisture was not detected at the time of the inspection.

(2) Determining if damage, the presence of organic growths, moisture or wood rot behind walls, floors and ceiling coverings is beyond the scope of our general home inspection. If you are concerned or believe that these conditions may exist in a nonvisible or concealed area, we recommend that you have this home further examined by a qualified contractor or environmental hygienist prior to the end of your contingency period.

(3) **A WORD ABOUT PHOTOS:** The photos in this report and their associated captions are included as a sampling of the conditions inspected. The photos are intended to clarify selected issues, but are NOT intended to imply their relative importance. Client(s) is advised that NOT all defects will be supported with photos and that NOT all photos taken will be used in the report. If similar defects are found at several locations throughout the property, only a representative number of photos may be shown in this report. Repairs should not be limited to only those areas, but at all instances of the defect(s). Sometimes it is not possible to take a photograph of a defect due to location, lighting, or other obstructions. Numerous photos may be taken of a property but not all will necessarily be included with a corresponding comment in the report. Only a sample number of photos are used and it's MOST important to use and go off the written comment and written information provided in your report. Please reach out to your inspector to request additional photos of an area or item you would want included.

(4) **We did not test the property for asbestos. Testing for asbestos is out of the scope of a general home inspection and was not done by this company at the time of the inspection. If your concerned that the this property may**

IN NI NP RR IO Items

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IN NI NP RR IO Items

contain asbestos, we recommend that you have the property tested for asbestos prior to the end of your contingency period by a qualified licensed contractor.

6.1.A CEILINGS

Comments:

The ceiling has typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made by a qualified person.

6.2.A WALLS

Comments:

(1) The walls have typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made as needed by a qualified person.
(2) Due to stored personal items not all areas throughout the property were visible and accessible at the time of the inspection. The slab and other areas were obstructed from view and could not be inspected. The home inspector does not move personal items, panels, furniture, equipment, plant life, soil, debris, ect. that obstructs their access or visibility. We recommend that you conduct a careful evaluation during your final walk-through or prior to the end of your contingency period to ensure that there are no hidden defects. All doors, windows, and outlets should be tested and verified for proper operation prior to the end of your contingency period by a qualified person. If any damage is observed we recommend asking the seller about it. We recommend that any damage found be repaired or replaced by a qualified licensed contractor in the appropriate trade.

6.3.A FLOOR COVERINGS

6.4.A COUNTERS AND CABINETS (REPRESENTATIVE NUMBER)

Comments:

The cabinets throughout the house have typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made as needed by a qualified person.

6.5.A DOORS (REPRESENTATIVE NUMBER)

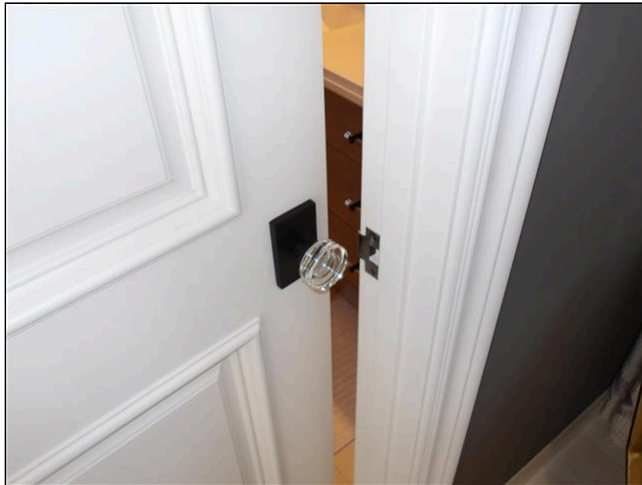
Comments:

IN NI NP RR IO Items

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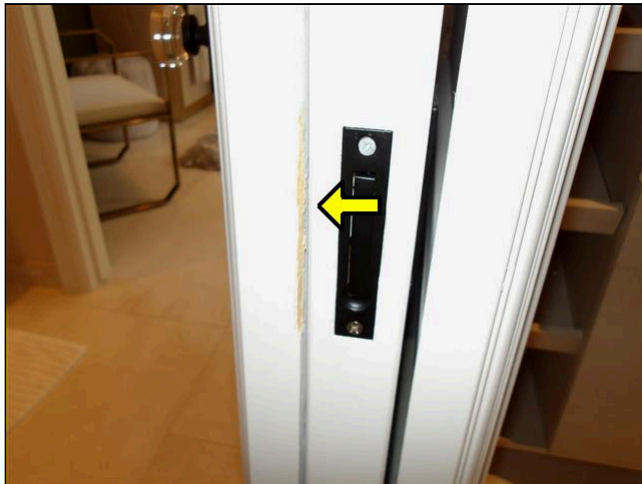
IN NI NP RR IO Items

(1) The bathroom door hardware is misaligned; the door does not latch. We recommend adjusting the strike plate or necessary corrections made by a qualified person.



6.5.A Item 1(Picture)

(2) Sliding closet door hardware makes contact with the frame and there is damage to the frame. We recommend further evaluation and any necessary repairs/replacement made by a qualified licensed door contractor.



6.5.A Item 2(Picture)



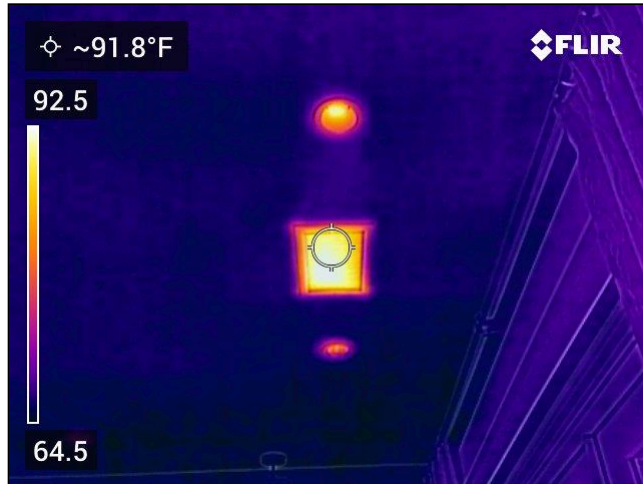
6.6.A INFRARED CAMERA INSPECTION FINDINGS

Comments:

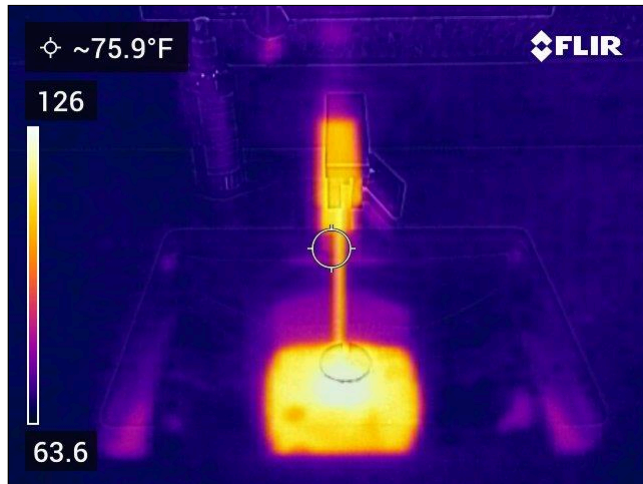
IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

(1) Infrared Camera Thermal Photos.



6.6.A Item 1(Picture)



6.6.A Item 2(Picture)



6.6.A Item 3(Picture)



6.6.A Item 4(Picture)

(2) An infrared (thermal imaging) scan was performed throughout the property at the time of the inspection using a hand held infrared (thermal imaging) inspection camera. No anomalies were found at the time of the inspection using this camera.



6.7.A INTERIORS - OTHER

Comments:

- (1) Determining the presence of organic growths, moisture or wood rot behind any walls, floors and ceiling coverings is beyond the scope of our general home inspection. We recommend further evaluation by a qualified licensed contractor or a environmental hygienist prior to the end of your contingency if you are concerned.
- (2) MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.
- (3) MAINTENANCE RECOMMENDATION: We recommend having the property professionally cleaned prior to moving in by a licensed cleaning company.

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

6(B) . Main House Interior

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments. The home inspector is not required to: Move personal items, panels, furniture, equipment, or anything that obstructs access or visibility. Inspection of the home interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards. If concerned we recommend further evaluation by a qualified licensed professional in the appropriate trade prior to the end of your contingency period.



Note: All moisture stains should be investigated until the client is satisfied that the condition is sufficiently understood. Where there are concerns regarding water leaks or infiltration, we recommend that a qualified industrial hygienist evaluate for mold, fungus, or other microbial material prior to the end of your contingency period.

Determining if damage, the presence of organic growths, moisture or wood rot behind walls, base boards, floors and ceiling coverings is beyond the scope of our general home inspection. If you are concerned or believe that these conditions may exist in a nonvisible or concealed area, we recommend that you have this home further examined by a qualified contractor or environmental hygienist prior to the end of your contingency period.

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IN NI NP RR IO Items

6.0.B INTERIORS (GENERAL COMMENTS)

WALL/ CEILING MATERIAL: SHEETROCK

Comments:

(1) A representative sampling for moisture was performed at accessible interior walls using a moisture meter. (*areas prone to moisture, such as kitchens, bathrooms, below grade walls, exterior walls with doors/windows*). An elevated moisture was not detected at the time of the inspection.

(2) Determining if damage, the presence of organic growths, moisture or wood rot behind walls, floors and ceiling coverings is beyond the scope of our general home inspection. If you are concerned or believe that these conditions may exist in a nonvisible or concealed area, we recommend that you have this home further examined by a qualified contractor or environmental hygienist prior to the end of your contingency period.

(3) **A WORD ABOUT PHOTOS:** The photos in this report and their associated captions are included as a sampling of the conditions inspected. The photos are intended to clarify selected issues, but are NOT intended to imply their relative importance. Client(s) is advised that NOT all defects will be supported with photos and that NOT all photos taken will be used in the report. If similar defects are found at several locations throughout the property, only a representative number of photos may be shown in this report. Repairs should not be limited to only those areas, but at all instances of the defect(s). Sometimes it is not possible to take a photograph of a defect due to location, lighting, or other obstructions. Numerous photos may be taken of a property but not all will necessarily be included with a corresponding comment in the report. Only a sample number of photos are used and it's MOST important to use and go off the written comment and written information provided in your report. Please reach out to your inspector to request additional photos of an area or item you would want included.

(4) **We did not test the property for asbestos. Testing for asbestos is out of the scope of a general home inspection and was not done by this company at the time of the inspection. If your concerned that the this property may**

IN NI NP RR IO Items

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contain asbestos, we recommend that you have the property tested for asbestos prior to the end of your contingency period by a qualified licensed contractor.

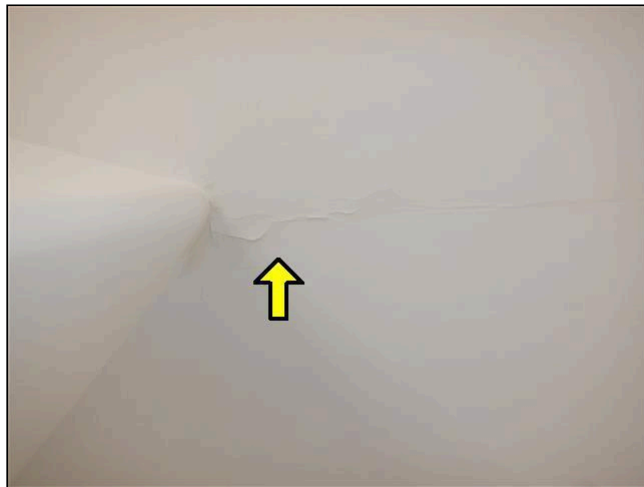
(5) This home is older and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.



6.1.B CEILINGS

Comments:

(1) Hairline cracking was observed at the ceiling at several locations in the house. These hairline cracks are likely due to material shrinkage or settlement of the structure. We recommend prep and paint by a qualified licensed contractor.



6.1.B Item 1(Picture)

(2) The ceiling has typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made by a qualified person.



6.2.B WALLS

Comments:

IN NI NP RR IO Items

- (1) The walls have typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made as needed by a qualified person.
- (2) Hairline cracking was observed at several locations. These hairline cracks are likely due to material shrinkage or settlement of the structure. We recommend prep and paint by a qualified licensed painter.



6.2.B Item 1(Picture)

- (3) Water staining was observed at window sill/jamb in the staircase. This can be caused by humidity due to difference in air temperatures between interior and exterior. In some cases this indicates a drafty window. We recommend having these areas cleaned/ painted as needed by a qualified person.



6.2.B Item 2(Picture)

IN NI NP RR IO Items

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6.2.B Item 3(Picture)

(4) Due to stored personal items not all areas throughout the property were visible and accessible at the time of the inspection. The slab and other areas were obstructed from view and could not be inspected. The home inspector does not move personal items, panels, furniture, equipment, plant life, soil, debris, ect. that obstructs their access or visibility. We recommend that you conduct a careful evaluation during your final walk-through or prior to the end of your contingency period to ensure that there are no hidden defects. All doors, windows, and outlets should be tested and verified for proper operation prior to the end of your contingency period by a qualified person. If any damage is observed we recommend asking the seller about it. We recommend that any damage found be repaired or replaced by a qualified licensed contractor in the appropriate trade.



6.3.B FLOOR COVERINGS

Comments:

(1) Carpets throughout the house are dirty. We recommend having them professional cleaned or replaced by a qualified licensed flooring contractor.



6.3.B Item 1(Picture)

(2) Wood flooring was observed to be "scuffed"/damaged in several areas. We recommend further evaluation by a licensed flooring contractor and have repairs made where needed.

IN NI NP RR IO Items

6.4.B STEPS, STAIRWAYS, RAILINGS

6.5.B COUNTERS AND CABINETS (REPRESENTATIVE NUMBER)

Comments:

- (1) The cabinets throughout the house have typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made as needed by a qualified person.
- (2) Due to stored personal items such as towels, clothing, personal items, hygiene and/or cleaning products, a full evaluation of the cabinets and closets could not be made. We recommend that you carefully inspect all cabinets and closets prior to the end of your contingency period or during your final walk through. The home inspector does not move personal items, panels, furniture, equipment, plant life, soil, debris, ect. that obstructs their access or visibility. If any damage is observed we recommend asking the seller about it. We recommend that any damage found be repaired or replaced by a qualified licensed contractor in the appropriate trade

6.6.B DOORS (REPRESENTATIVE NUMBER)

Comments:

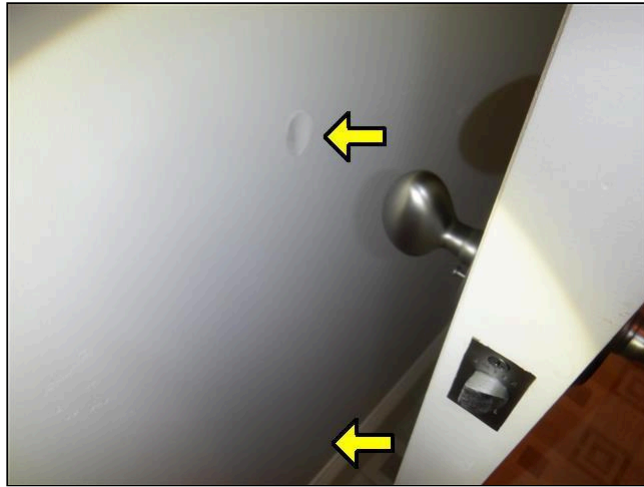
- (1) Door stoppers are missing at several doors. Door stoppers are recommended where door handles contact walls. We recommend adding door stops and repair of any walls by a qualified person.



6.6.B Item 1(Picture)

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6.6.B Item 2(Picture)

(2) The laundry room door rubs at the frame. We recommend necessary corrections by a qualified person.



6.6.B Item 3(Picture)

IN NI NP RR IO Items

(3) The 2nd bedroom upstairs closet door rubs on the floor. This is non standard. We recommend making repairs/adjustments where needed by a licensed contractor.



6.6.B Item 4(Picture)

(4) Damaged/missing door trim was observed at a door in the right side hall closet. We recommend repairs/replacement where needed by a qualified licensed contractor.



6.6.B Item 5(Picture)



6.7.B INFRARED CAMERA INSPECTION FINDINGS

Comments:

IN NI NP RR IO Items

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(1) Infrared Camera Thermal Photos.



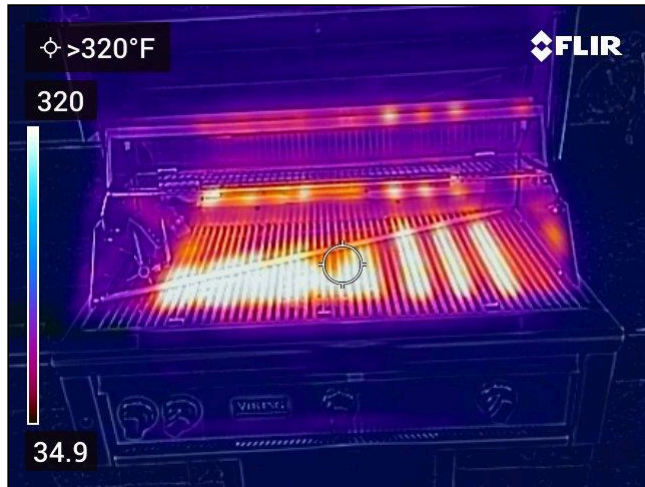
6.7.B Item 1(Picture)



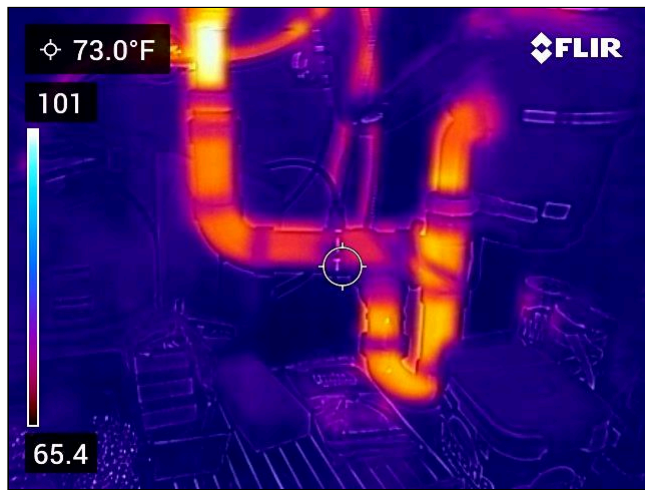
6.7.B Item 2(Picture)



6.7.B Item 3(Picture)



6.7.B Item 4(Picture)



6.7.B Item 5(Picture)

(2) An infrared (thermal imaging) scan was performed throughout the property at the time of the inspection using a hand held infrared (thermal imaging) inspection camera. No anomalies were found at the time of the inspection using this camera.

6.8.B SAFETY GLASS (INTERIOR)

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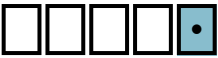
IN NI NP RR IO Items



6.9.B INTERIORS - OTHER

Comments:

- (1) Determining the presence of organic growths, moisture or wood rot behind any walls, floors and ceiling coverings is beyond the scope of our general home inspection. We recommend further evaluation by a qualified licensed contractor or a environmental hygienist prior to the end of your contingency if you are concerned.
- (2) MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.
- (3) MAINTENANCE RECOMMENDATION: We recommend having the property professionally cleaned prior to moving in by a licensed cleaning company.



6.10.B ADDITIONS/ MODIFICATIONS

Comments:

It is beyond the scope of our general home inspection to verify permits. We recommend checking city records to verify the existence of permits prior to the end of your contingency period.

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

7(A) . Guest House Plumbing



The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials unless otherwise agreed upon. Determining whether shower pans are watertight is beyond the scope of the inspection.

Laundry Note: Washers and dryers are not moved or tested during the inspection. The washer drain line and the dryer vent duct are not tested. Best practices for washer and dryer installation include the following recommendations: Use braided metallic water hoses to reduce the potential of leaks at the washing machine. Use flexible metal dryer vent connector. Use a half inch appliance connector and gas valve for all newer gas dryers. Installation of a drain pan under the washing machine with a drain pipe terminating at the exterior.

Underground Gas Pipe Note: Determining if the below ground gas pipes leak is beyond the scope of a home inspection. If concerned we recommend further evaluation of all underground gas piping by a licensed plumbing contractor prior to the end of your contingency period. Note: While the inspector attempts to discover gas leaks at the accessible gas fittings and appliances while using a gas leak detector, some leaks can go undetected.

Home inspectors do not operate (turn) any water supply shut off valves at any property such as angle stops (the type under sinks and toilets), laundry hose spigots, water heater supply valves, or main water shut off valves at the meter. Home inspectors do not test clothes washer drains or stand pipes, or flood test the over-flow drains at tubs and sinks in accordance with industry standards of practice. If you have questions about these exclusions, please contact your home inspector.

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IN NI NP RR IO Items

7.0.A DRAIN, WASTE, AND VENT SYSTEMS

PLUMBING WASTE (OBSERVED INSIDE THE HOME): ABS, PARTIALLY VISIBLE
GAS DISTRIBUTION: NONE

Comments:

At the time of the inspection we evaluated all drain pipes by running water through every drain that has an active fixture while observing its draw and watching for blockages or slow draining. Kitchen and bathroom fixtures were tested for an extended period of time during the inspection. We did not test the laundry stand pipe if a washing machine is connected. A video-scan of the drains and main line can only help determine the actual condition(s) of these drain pipes. We recommend having a sewer camera inspection conducted to help determine the condition of the pipes prior to the end of your contingency period.

7.1.A WATER SUPPLY, DISTRIBUTION SYSTEMS

WATER SOURCE: PUBLIC
PLUMBING WATER DISTRIBUTION (INSIDE THE HOME): COPPER, PARTIALLY VISIBLE

Comments:

(1) There were un-insulated water supply pipes noted in the crawl space. All exposed

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IN NI NP RR IO Items

water supply pipes, hot or cold should be insulated to help minimize heat loose. We recommend necessary corrections by a qualified licensed plumber.



7.1.A Item 1(Picture)

(2) Picture of the copper piping in the attic space. Appears to be functioning as intended.



7.1.A Item 2(Picture)

IN NI NP RR IO Items

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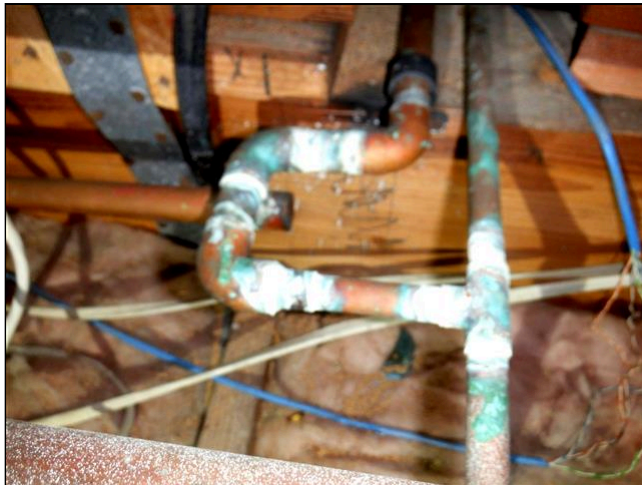
IN NI NP RR IO Items

(3) A corroded pipe is observed in the attic. We recommend further evaluation by a qualified licensed plumber and necessary repairs made.



7.1.A Item 3(Picture)

(4) A corroded pipe is observed in the attic. We recommend further evaluation by a qualified licensed plumber and necessary repairs made.



7.1.A Item 4(Picture)

□ □ □ ● □

7.2.A WATER PRESSURE/ REGULATOR

WATER PRESSURE (PSI): ABOVE 100 PSI (TO HIGH)

Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

The water pressure was checked with a water pressure gauge and was measured to be higher than 80 PSI at the time of the inspection. This is to high and corrections are needed. We recommend further evaluation by a qualified licensed plumber for necessary repairs or corrections.



7.2.A Item 1(Picture)

7.3.A HOSE SPIGOT(S)

Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

- (1) The accessible hose spigots were tested and were found to be operational at the time of the inspection. Note: Some hose spigots may leak or drip when a watering hose is connected due to back pressure.
- (2) The exterior hose spigots do not have anti-siphon or anti-backflow devices installed on them. These anti-siphon or anti-backflow devices help prevent contaminated water from flowing back into the the house water supply system. We recommend installing anti-siphon or anti-backflow devices at the every exterior hose spigots by a qualified person.



7.3.A Item 1(Picture)



7.3.A Item 2(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items

7.4.A GAS/ FUEL STORAGE AND DISTRIBUTION SYSTEMS

Comments:

A gas leak test was conducted at accessible gas fittings and appliances using a gas leak detector. There were no gas leaks detected at the time of the inspection.

7.5.A SINK(S)

Comments:

Some of the sink angle stop valves are observed with calcium deposits on them. Calcium deposits can corrode or deteriorate these valves and cause potential leaks. We recommend replacing all calcified angle stop valves by a qualified licensed plumber to help prevent leaks.



7.5.A Item 1(Picture)

IN NI NP RR IO Items

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. The water supply and waste line piping that is concealed within inaccessible areas such as covered walls and concrete slab floors was not evaluated. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7(B) . Main House Plumbing



The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials unless otherwise agreed upon. Determining whether shower pans are watertight is beyond the scope of the inspection.

Laundry Note: Washers and dryers are not moved or tested during the inspection. The washer drain line and the dryer vent duct are not tested. Best practices for washer and dryer installation include the following recommendations: Use braided metallic water hoses to reduce the potential of leaks at the washing machine. Use flexible metal dryer vent connector. Use a half inch appliance connector and gas valve for all newer gas dryers. Installation of a drain pan under the washing machine with a drain pipe terminating at the exterior.

Underground Gas Pipe Note: Determining if the below ground gas pipes leak is beyond the scope of a home inspection. If concerned we recommend further evaluation of all underground gas piping by a licensed plumbing contractor prior to the end of your contingency period. Note: While the inspector attempts to discover gas leaks at the accessible gas fittings and appliances while using a gas leak detector, some leaks can go undetected.

Home inspectors do not operate (turn) any water supply shut off valves at any property such as angle stops (the type under sinks and toilets), laundry hose spigots, water heater supply valves, or main water shut off valves at the meter. Home inspectors do not test clothes washer drains or stand pipes, or flood test the over-flow drains at tubs and sinks in accordance with industry standards of practice. If you have questions about these exclusions, please contact your home inspector.

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IN NI NP RR IO Items

7.0.B DRAIN, WASTE, AND VENT SYSTEMS

PLUMBING WASTE (OBSERVED INSIDE THE HOME): ABS, PARTIALLY VISIBLE
GAS DISTRIBUTION: RIGID IRON PIPE, PARTIALLY VISIBLE
WASHER DRAIN SIZE: 2" DIAMETER

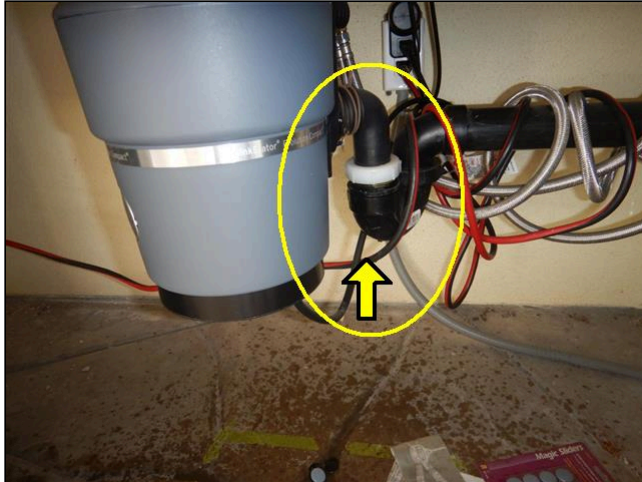
Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

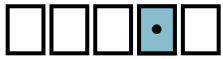
IN NI NP RR IO Items

(1) An active leak is present at the drain pipe under the outdoor BBQ sink. We recommend necessary repairs by a qualified licensed plumber.



7.0.B Item 1(Picture)

(2) At the time of the inspection we evaluated all drain pipes by running water through every drain that has an active fixture while observing its draw and watching for blockages or slow draining. Kitchen and bathroom fixtures were tested for an extended period of time during the inspection. We did not test the laundry stand pipe if a washing machine is connected. A video-scan of the drains and main line can only help determine the actual condition(s) of these drain pipes. We recommend having a sewer camera inspection conducted to help determine the condition of the pipes prior to the end of your contingency period.



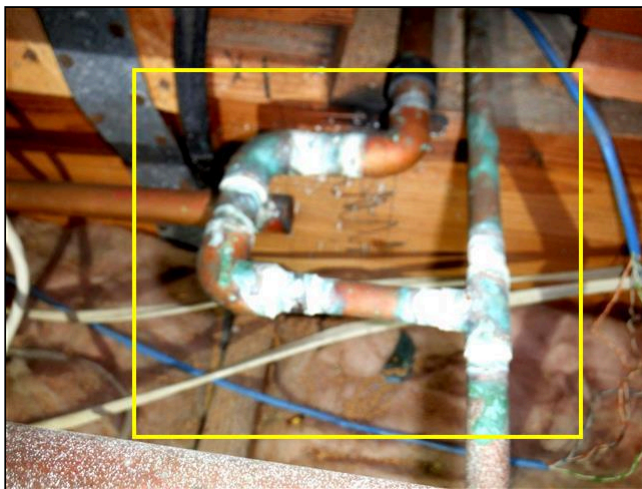
7.1.B WATER SUPPLY, DISTRIBUTION SYSTEMS

WATER SOURCE: PUBLIC

PLUMBING WATER DISTRIBUTION (INSIDE THE HOME): COPPER, PARTIALLY VISIBLE

Comments:

(1) A corroded pipe is observed in the attic. We recommend further evaluation by a qualified licensed plumber and necessary repairs made.



7.1.B Item 1(Picture)

(2) It was common practice for homes to have some portions of the plumbing

IN NI NP RR IO Items

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IN NI NP RR IO Items

distribution system installed through the concrete slab which have been known to deteriorate and result in leaks. During the inspection, we tried to determine if any slab leaks may exist. At the time of the inspection, we scanned the slab using a thermal camera to help find any active leaks and there was no evidence of current/ active leaks observed or discovered.

7.2.B WATER PRESSURE/ REGULATOR

WATER PRESSURE (PSI): 60-65 PSI

Comments:

The water pressure was checked with a water pressure gauge and was measured and was found to be within the acceptable range at the time of the inspection.

7.3.B HOSE SPIGOT(S)

Comments:

(1) The accessible hose spigots were tested and were found to be operational at the time of the inspection. Note: Some hose spigots may leak or drip when a watering hose is connected due to back pressure.

(2) The exterior hose spigots do not have anti-siphon or anti-backflow devices installed on them. These anti-siphon or anti-backflow devices help prevent contaminated water from flowing back into the the house water supply system. We recommend installing anti-siphon or anti-backflow devices at the every exterior hose spigots by a qualified person.



7.3.B Item 1(Picture)

7.4.B GAS/ FUEL STORAGE AND DISTRIBUTION SYSTEMS

Comments:

A gas leak test was conducted at accessible gas fittings and appliances using a gas leak detector. There were no gas leaks detected at the time of the inspection.

7.5.B SINK(S)

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

Some of the sink angle stop valves are observed with calcium deposits on them. Calcium deposits can corrode or deteriorate these valves and cause potential leaks. We recommend replacing all calcified angle stop valves by a qualified licensed plumber to help prevent leaks.



7.5.B Item 1(Picture)

IN NI NP RR IO Items

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. The water supply and waste line piping that is concealed within inaccessible areas such as covered walls and concrete slab floors was not evaluated. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8(A) . Hall Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

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8.0.A BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

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The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(B) . Master Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items



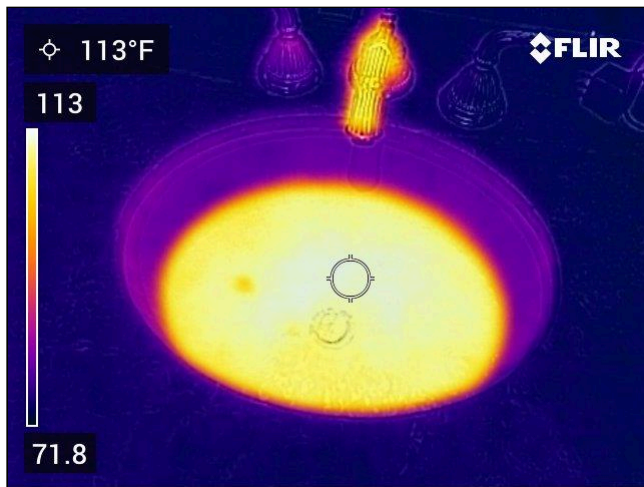
8.0.B SINK(S)

Comments:

(1) The left side sink in the bathroom was slow draining at the time of the inspection This may indicate a blockage in the drain line. We recommend further evaluation by a qualified licensed plumber and repairs as needed.



8.0.B Item 1(Picture)



8.0.B Item 2(Picture)

(2) The metal portions of the sink drain are rusted or corroded. A leak was not observed at this sink drain pipe at the time of the inspection. However, we recommend replacing this drain pipe by a qualified licensed plumber to help prevent future leaks or

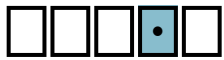
IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

damage.



8.0.B Item 3(Picture)



8.1.B SHOWER

Comments:

(1) The bottom shower door seal is missing at the shower door. This is allowing water to splash out of the shower and onto the bathroom floor. We recommend installing a bottom shower door seal by a qualified person.



8.1.B Item 1(Picture)

IN NI NP RR IO Items

(2) The tile surround has cracked or missing grout between the tiles and needs repair or replace. There may be water damage to the wall behind the tiles which is not visible. Determining if water damage exists in the wall behind tiles is beyond the scope of our general home inspection. We recommend having the tiles repaired by a licensed tile contractor. Additional repairs may be required when tiles are removed. This area should be evaluated further by a qualified licensed tile contractor prior to the end of your contingency period.



8.1.B Item 2(Picture)



8.2.B GFCI OPERATION

Comments:

The left side GFCI outlet in this bathroom is a non-grounded outlet which is legal, but not as safe as a grounded GFCI. Non-grounded GFCI protected receptacles require a label stating "No Equipment Ground". We recommend labeling for safety or having this outlet grounded by a qualified licensed electrician.



8.2.B Item 1(Picture)



8.3.B JETTED TUB

Comments:

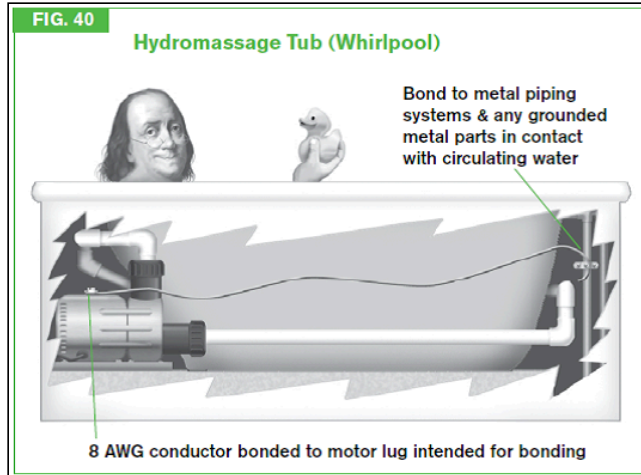
(1) The bonding wire is missing at the jetted tub equipment. This is a safety hazard. A

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

bonding wire should connect all metal components of the for safety. We recommend installing a bonding wire by a qualified licensed electrician for safety.



8.3.B Item 1(Picture)



8.3.B Item 2(Picture)

- (2) During the operation of the jetted tub debris was observed to come out of the jets. We recommend having the jetted tub professionally cleaned and flushed prior to use.
- (3) The jetted tub was filled and operated at the time of the inspection.

8.4.B BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(C) . Guest House Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

8.0.C SHOWER

Comments:

(1) The handheld shower faucet leaks when operated. We recommend necessary repairs or replacement by a qualified licensed plumber.



8.0.C Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

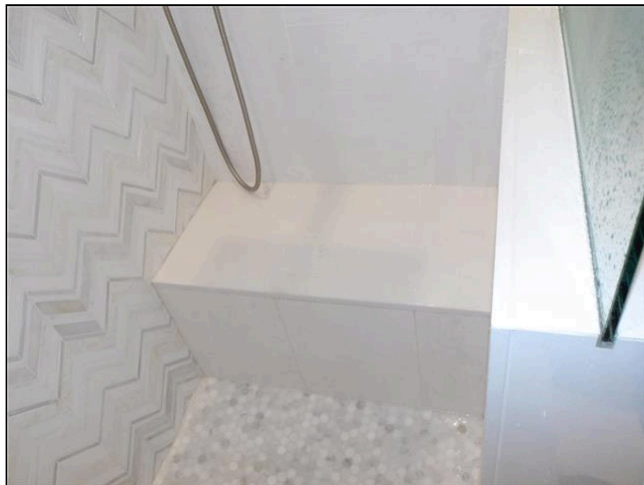
IN NI NP RR IO Items

(2) The tile surround has cracked or missing grout between the tiles and needs repair or replace. There may be water damage to the wall behind the tiles which is not visible. Determining if water damage exists in the wall behind tiles is beyond the scope of our general home inspection. We recommend having the tiles repaired by a licensed tile contractor. Additional repairs may be required when tiles are removed. This area should be evaluated further by a qualified licensed tile contractor prior to the end of your contingency period.



8.0.C Item 2(Picture)

(3) We recommend caulking around the hall bathroom shower pan, curb, and adjacent walls to help prevent moisture intrusion.



8.0.C Item 3(Picture)

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8.1.C DOOR(S)

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The door rubs at the frame. We recommend necessary corrections by a qualified person.



8.1.C Item 1(Picture)



8.2.C BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(D) . Hall Bathroom Upstairs

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

8.0.D SINK(S)

Comments:

The sink faucet is loose. We recommend necessary repairs by a qualified licensed plumber.



8.0.D Item 1(Picture)

8.1.D SHOWER

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(1) The tile surround has cracked or missing grout between the tiles and needs repair or replace. There may be water damage to the wall behind the tiles which is not visible. Determining if water damage exists in the wall behind tiles is beyond the scope of our general home inspection. We recommend having the tiles repaired by a licensed tile contractor. Additional repairs may be required when tiles are removed. This area should be evaluated further by a qualified licensed tile contractor prior to the end of your contingency period.



8.1.D Item 1(Picture)

(2) There is a steam shower installed. Steam showers are out of the scope of our general home inspection. We recommend further evaluation by a qualified person if concerned.



8.1.D Item 2(Picture)

8.2.D BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

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The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(E) . Upstairs 2nd Guest Bedroom Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

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8.0.E BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(F) . Upstairs 3rd Guest Bedroom Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

8.0.F SHOWER

Comments:

There is a steam shower installed. Steam showers are out of the scope of our general home inspection. We recommend further evaluation by a qualified person if concerned.



8.0.F Item 1(Picture)

8.1.F TOILET

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The toilet is loose on the floor. This condition could damage the wax ring under the toilet. We recommend necessary repairs by a licensed plumber.



8.1.F Item 1(Picture)



8.2.F OUTLET(S)/ FIXTURE(S)

Comments:

A receptacle was found to be loose in the wall. We recommend necessary repair by a licensed electrician.



8.2.F Item 1(Picture)



8.3.F BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

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The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(G) . Downstairs Guest Bedroom Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

8.0.G SHOWER

Comments:

The bottom shower door seal is missing at the shower door. This is allowing water to splash out of the shower and onto the bathroom floor. We recommend installing a bottom shower door seal by a qualified person.



8.0.G Item 1(Picture)

8.1.G TOILET

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The toilet did not flush when tested. We recommend further evaluation and necessary repairs by a licensed plumber.



8.1.G Item 1(Picture)

8.2.G BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

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The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(H) . Left Side Half Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

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IN NI NP RR IO Items



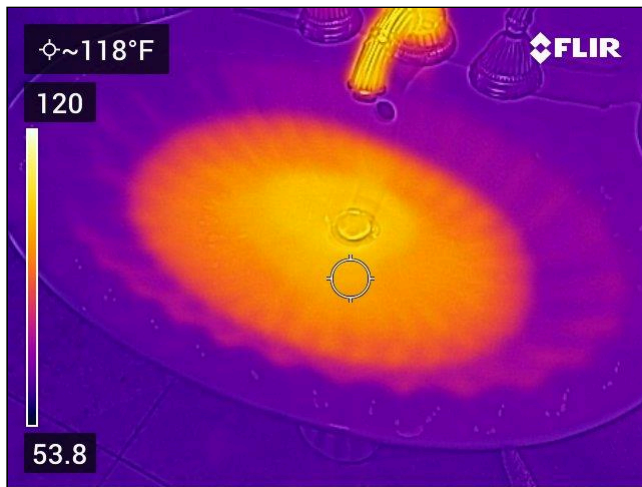
8.0.H SINK(S)

Comments:

The sink in the bathroom was slow draining at the time of the inspection This may indicate a blockage in the drain line. We recommend further evaluation by a qualified licensed plumber and repairs as needed.



8.0.H Item 1(Picture)



8.0.H Item 2(Picture)



8.1.H TOILET

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The toilet did not flush when tested. We recommend further evaluation and necessary repairs by a licensed plumber.



8.1.H Item 1(Picture)



8.2.H BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

8(I) . Left Side 2nd Half Bathroom

The bathroom(s) and it's related components were inspected and appeared to be functioning/ operating as intended at the time of the inspection unless other wise commented on in the appropriate bathroom section(s).



MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person.

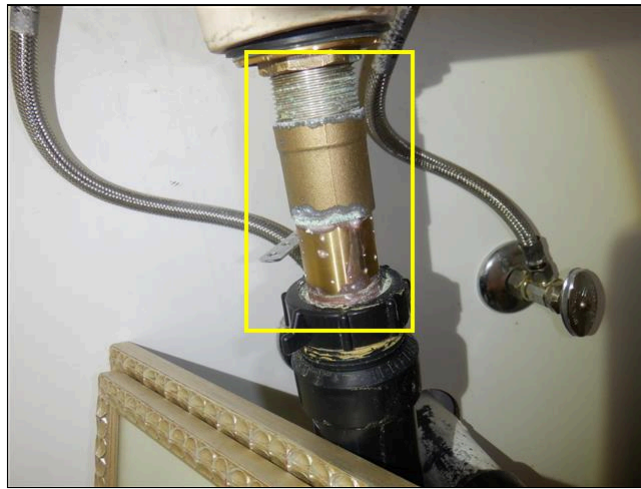
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

8.0.I SINK(S)

Comments:

The metal portions of the sink drain are rusted or corroded. A leak was not observed at this sink drain pipe at the time of the inspection. However, we recommend replacing this drain pipe by a qualified licensed plumber to help prevent future leaks or damage.



8.0.I Item 1(Picture)

8.1.I TOILET

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The toilet was "running" at the time of the inspection. We recommend necessary repairs by a licensed plumber.



8.1.I Item 1(Picture)



8.2.I BATHROOM OTHER

Comments:

MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The bathroom(s) were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

9. Laundry

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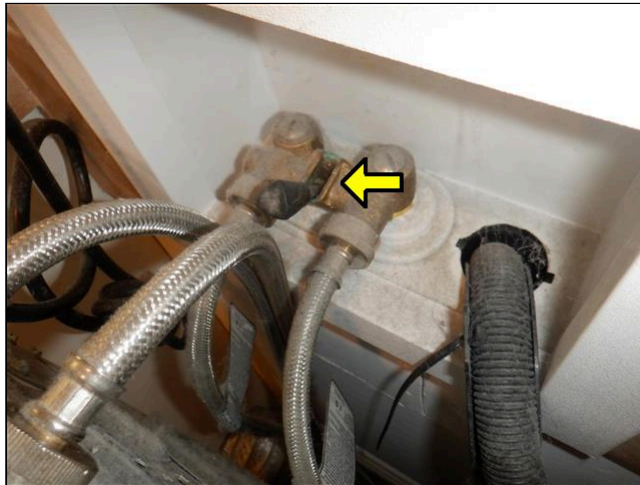
IN NI NP RR IO Items

9.0 WASHING MACHINE/ DRYER CONNECTION(S)

DRYER POWER SOURCE: 220 VOLT ELECTRIC AND GAS, 220 VOLT ELECTRIC (3 PRONG)

Comments:

(1) The laundry faucet valves are leaking. We recommend necessary repairs or replacement by a qualified licensed plumber.



9.0 Item 1(Picture)

(2) There is a three prong 220 volt receptacle installed for the dryer. Most new electric dryers require a four prong receptacle. If you install an electric dryer, you may need to upgrade the receptacle or the dryer power cord. We recommend necessary corrections by a qualified licensed electrician.



9.0 Item 2(Picture)

9.1 CLOTHES DRYER VENT

DRYER VENT: FOIL

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(1) We recommend having the dryer vent cleaned by a qualified person.
 (2) The dryer is equipped with a foil, accordion-type duct. The U.S. Consumer Product Safety Commission considers these types of ducts to be unsafe and a fire hazard. The flexible foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow. We recommend replacing the duct with a rigid or corrugated semi-rigid metal duct.



9.1 Item 1(Picture)

9.2 LAUNDRY ROOM VENT

9.3 LAUNDRY OTHER

Comments:

The clothes washer and dryer are not part of our general inspection and were not inspected or commented on. If concerned about there serviceability and functionality we recommend further evaluation by a qualified licensed appliance contractor prior to the end of your contingency period.



9.3 Item 1(Picture)

9.4 LAUNDRY SINK

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The metal portions of the sink drain are rusted or corroded. A leak was not observed at this sink drain pipe at the time of the inspection. However, we recommend replacing this drain pipe by a qualified licensed plumber to help prevent future leaks or damage.



9.4 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The laundry room/ area inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving personal property, furniture, washing machine/ dryer and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Cosmetic deficiencies are considered normal wear and tear and are not reported.

10. Fireplaces/ Chimneys

This inspection of the fireplace/ chimney is limited to the readily visible portions only. The inner reaches of a chimney flue are not visually accessible and the view from the top or bottom is not adequate to discover possible deficiencies or damage with in our general home inspection. We recommend that a National Fire Protection Association (NFPA) 211 Standard, Level II inspection by a qualified licensed professional be preformed prior to the end of your contingency period. They can use specialized tools, testing procedures, mirrors, and video cameras to thoroughly evaluate the fireplace system. We do not light the gas or start a fire, or check for proper drafting.

We recommend that all fireplaces be cleaned and inspected by a qualified licensed person prior to using and on a regular basis to insure safe operation.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items



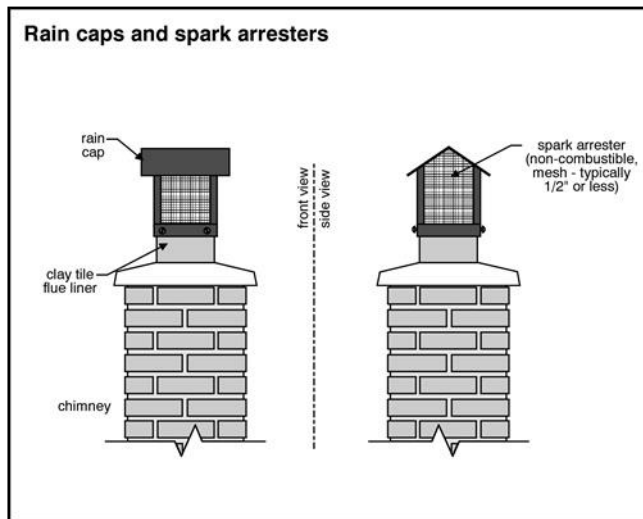
10.0 CHIMNEY(S)

FIRE PLACE TYPES: CONCRETE LOG KIT

NUMBER OF FIREPLACE(S): ONE

Comments:

- (1) We recommend having all of the fireplaces and chimneys cleaned and inspected by a licensed chimney sweep for safety prior to using.
- (2) The chimney liner was not inspected by our company. We recommend a qualified chimney contractor inspect for safety if concerned.
- (3) A rain cap is not present/ installed at the chimneys. This may have been acceptable at the time of construction. The rain cap prevents water from entering the chimney flue to help prevent deterioration. We recommend having a spark arrester/ rain cap installed by a qualified person.



10.0 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items



10.0 Item 2(Picture)



10.0 Item 3(Picture)



10.1 FIREPLACE(S)

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(1) There are no glass doors installed at the fireplace. We recommend having glass doors installed by a qualified licensed chimney contractor as a safety upgrade.



10.1 Item 1(Picture)

(2) A gap was observed at the gas stub inside the family room fireplace. This gap should be sealed with an approved sealant to help prevent chimney fires. We recommend corrections made by a licensed chimney contractor.



10.1 Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(3) There is an Aluminum Semi-Rigid gas connector installed at the fireplace gas logs. Aluminum gas connectors are no longer used and considered a fire hazard by SDG&E. We recommend replacing and installing an approved gas flex line by a qualified licensed plumber.



10.1 Item 3(Picture)

(4) Cracking is observed in the outside fireplace. We recommend necessary repairs by a qualified licensed chimney contractor.



10.1 Item 4(Picture)

10.2 DAMPER/ DAMPER CLAMP

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(1) There is a damper clamp installed at the family room fireplace for safety.



10.2 Item 1(Picture)

(2) The damper is inoperable or difficult to open at the outdoor fireplace. We recommend necessary repairs by a licensed chimney contractor.



10.2 Item 2(Picture)

10.3 HEARTH/ MANTLE

10.4 OPERATING CONTROLS

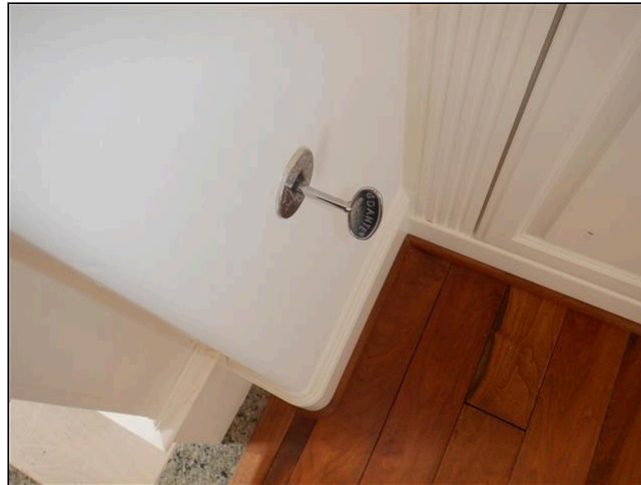
Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

We do not light gas log lighters or concrete log kits installed at the fireplace. This is beyond the scope of the home inspection. However, the fireplace gas valve was tested and gas was noted to come out of the fireplace gas pipe.



10.4 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The fireplace was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11(A) . Guest House



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

11.0.A SMOKE DETECTORS

Comments:

(1) **Photo of a smoke detector(s).**



11.0.A Item 1(Picture)

(2) A smoke detector is missing in master bedroom. This is a safety hazard. We recommend installing a smoke detectors in order to comply with current fire and safety standards and regulations by a qualified person.



11.0.A Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

11.1.A CARBON MONOXIDE DETECTOR(S)

Comments:

Carbon Monoxide detectors are not installed in this property. We recommend installing Carbon Monoxide detectors where needed prior to occupying the home.

11.2.A SAFETY - OTHER

Comments:

(1) All smoke detector should be tested upon moving into home, and every six months or per manufactures instructions. Smoke detectors should be replaced when they reach 10 years of age as their sensor becomes less effective over time or per manufactures instructions.

(2) All carbon monoxide detectors should be tested upon moving into home, and every six months or per manufactures instructions. Carbon monoxide detectors should be replaced per manufactures instructions.

11.3.A FIRE SPRINKLERS

Comments:

(1) There is a fire sprinkler system installed in the house and was not inspected by this company at the time of the home inspection. Inspecting fire sprinkler systems is beyond the scope of our general home inspection. We recommend having the fire sprinkler system inspected by a qualified licensed contractor prior to the end of your contingency period.

(2) Several fire sprinkler caps are missing at several sprinkler heads throughout the house. We recommend replacement where needed by a qualified person.



11.3.A Item 1(Picture)

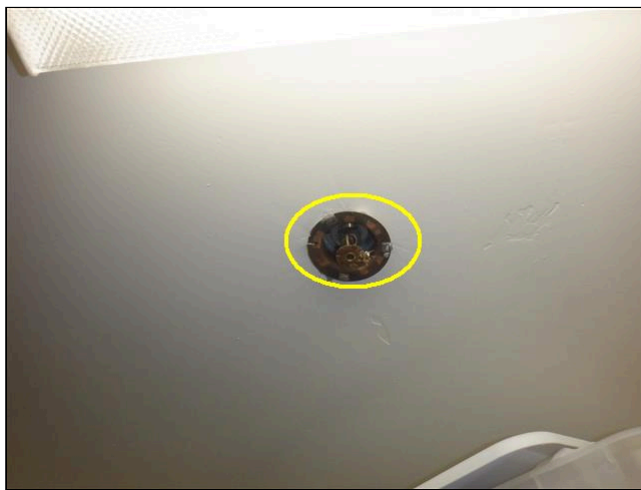
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IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items



11.3.A Item 2(Picture)



11.3.A Item 3(Picture)



11.4.A SECURITY SYSTEM

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

There is a security system installed in the house and was not inspected by this company at the time of the home inspection. Inspecting security systems is beyond the scope of a general home inspection. We recommend having the security system inspected by a qualified licensed contractor prior to the end of your contingency period.



11.4.A Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

11(B) . Main House



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

11.0.B SMOKE DETECTORS

Comments:

- (1) **Photo of a smoke detector(s).**



11.0.B Item 1(Picture)

(2) A smoke detector is missing in master bedroom. This is a safety hazard. We recommend installing a smoke detectors in order to comply with current fire and safety standards and regulations by a qualified person.

(3) We recommend installing additional smoke detectors where needed to comply with current fire and safety standards and regulations as a safety upgrade.

11.1.B CARBON MONOXIDE DETECTOR(S)

Comments:

Carbon Monoxide detectors are not installed in this property. We recommend installing Carbon Monoxide detectors where needed prior to occupying the home.

11.2.B SAFETY - OTHER

Comments:

(1) All smoke detector should be tested upon moving into home, and every six months or per manufactures instructions. Smoke detectors should be replaced when they reach 10 years of age as their sensor becomes less effective over time or per manufactures instructions.

(2) All carbon monoxide detectors should be tested upon moving into home, and every six months or per manufactures instructions. Carbon monoxide detectors should be replaced per manufactures instructions.

11.3.B FIRE SPRINKLERS

Comments:

- (1) There is a fire sprinkler system installed in the house and was not inspected by

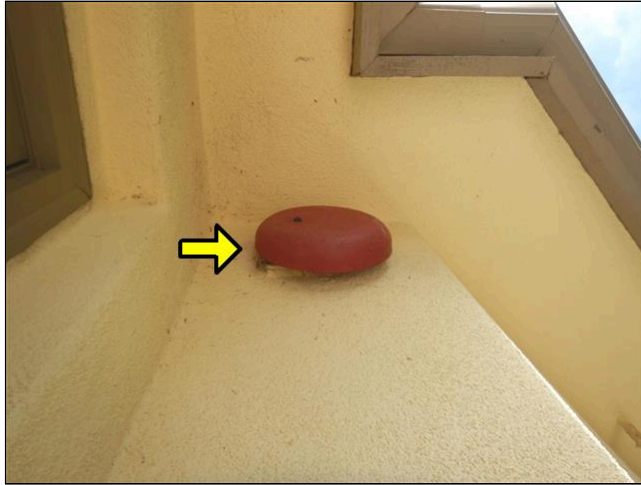
IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

this company at the time of the home inspection. Inspecting fire sprinkler systems is beyond the scope of our general home inspection. We recommend having the fire sprinkler system inspected by a qualified licensed contractor prior to the end of your contingency period.

(2) There is a bird nest inside the exterior fire alarm bell. This condition may interfere with the proper operation of the fire alarm bell. This is a safety hazard and corrections are needed. We recommend removing the bird nest from the fire alarm bell prior to occupying the house for safety.



11.3.B Item 1(Picture)

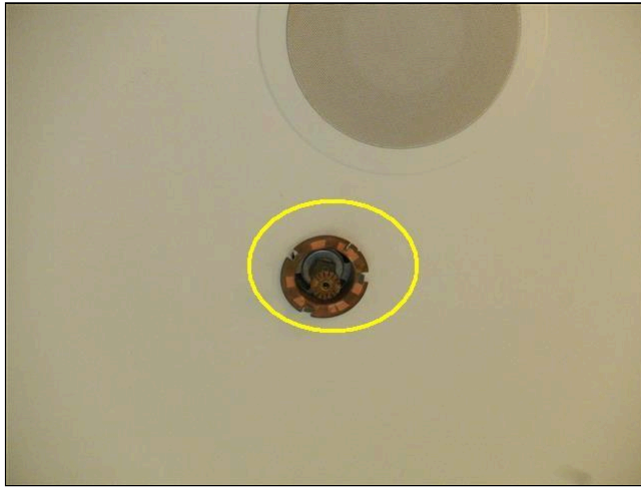
(3) Several fire sprinkler caps are missing at several sprinkler heads throughout the house. We recommend replacement where needed by a qualified person.



11.3.B Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



11.3.B Item 3(Picture)



11.4.B SECURITY SYSTEM

Comments:

There is a security system installed in the house and was not inspected by this company at the time of the home inspection. Inspecting security systems is beyond the scope of a general home inspection. We recommend having the security system inspected by a qualified licensed contractor prior to the end of your contingency period.



11.4.B Item 1(Picture)

12(A) . Guest House Heating

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues: the interior of ducts; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.



Note: A limited visual inspection can not adequately evaluate the heat exchanger for cracks and holes. Most areas of the heat exchanger are not visible without dismantling the furnace. Dismantling the furnace is beyond the scope of our general home inspection. Evaluation of the heat exchanger is expressly excluded. Evaluating the adequacy, efficiency, or even distribution of air throughout the home is not part of the inspection. Thermostats are not checked for calibration or programmable features, interior of the ducts are not inspected for cleanliness and if concerned about the cleanliness we recommend having them checked and cleaned by a licensed HVAC contractor prior to the end of your contingency period.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

12.0.A HEATING EQUIPMENT

HEAT TYPE: FORCED AIR

NUMBER OF HEAT SYSTEMS (EXCLUDING WOOD): ONE, THREE

ENERGY SOURCE: NATURAL GAS, ELECTRIC

AGE OF HEATER: GAS - LESS THAN 15 YEARS OLD, COULD NOT DETERMINE

Comments:

- (1) The furnace was tested and was functional/ operated at the time of the inspection.
- (2) **Infrared Thermal photo of the furnace(s) being tested.**



12.0.A Item 1(Picture)

12.1.A THERMOSTAT(S)

Comments:

- (1) The thermostat was operational when used to operate the HVAC system at the

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

time of the inspection. Programmable thermostats are not adjusted and no testing is done to check the accuracy or programmed settings of the thermostat. If concerned we recommend verifying proper operation of the programmable settings prior to the end of your contingency period by a qualified person.



12.1.A Item 1(Picture)

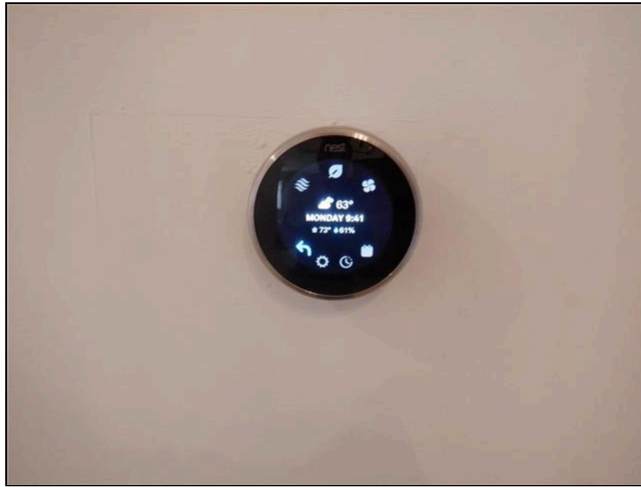
(2) All of the thermostats in the house were operational when used to operate the HVAC systems at the time of the inspection. Programmable thermostats are not adjusted and no testing is done to check the accuracy or programmed settings of the thermostat. If concerned we recommend verifying proper operation of the programmable settings prior to the end of your contingency period by a qualified person.



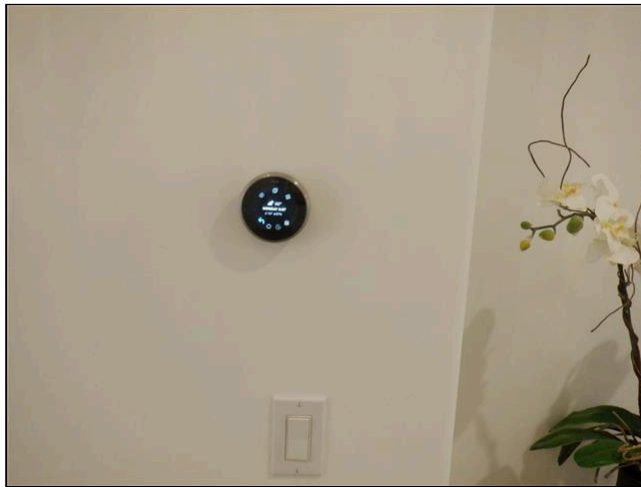
12.1.A Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



12.1.A Item 3(Picture)



12.1.A Item 4(Picture)

12.2.A VENTS AND FLUES (HEATING SYSTEM)

12.3.A DISTRIBUTION SYSTEMS (INCLUDING FANS, PUMPS, DUCTS, INSULATION, FILTERS, REGISTERS)

DUCTWORK: INSULATED

FILTER TYPE: FILTER(S) ARE DIRTY. WE RECOMMEND REPLACING., FILTERS ARE CLEAN

Comments:

(1) Filters are clean.

(2) The air filter(s) for the HVAC system is dirty. We recommend recommend replacing by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12(B) . Main House Heating

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues: the interior of ducts; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.



Note: A limited visual inspection can not adequately evaluate the heat exchanger for cracks and holes. Most areas of the heat exchanger are not visible without dismantling the furnace. Dismantling the furnace is beyond the scope of our general home inspection. Evaluation of the heat exchanger is expressly excluded. Evaluating the adequacy, efficiency, or even distribution of air throughout the home is not part of the inspection. Thermostats are not checked for calibration or programmable features, interior of the ducts are not inspected for cleanliness and if concerned about the cleanliness we recommend having them checked and cleaned by a licensed HVAC contractor prior to the end of your contingency period.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

12.0.B HEATING EQUIPMENT

HEAT TYPE: FORCED AIR

NUMBER OF HEAT SYSTEMS (EXCLUDING WOOD): THREE

ENERGY SOURCE: NATURAL GAS

AGE OF HEATER: COULD NOT DETERMINE

Comments:

(1) **Photo of the furnace(s).**



12.0.B Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



12.0.B Item 2(Picture)

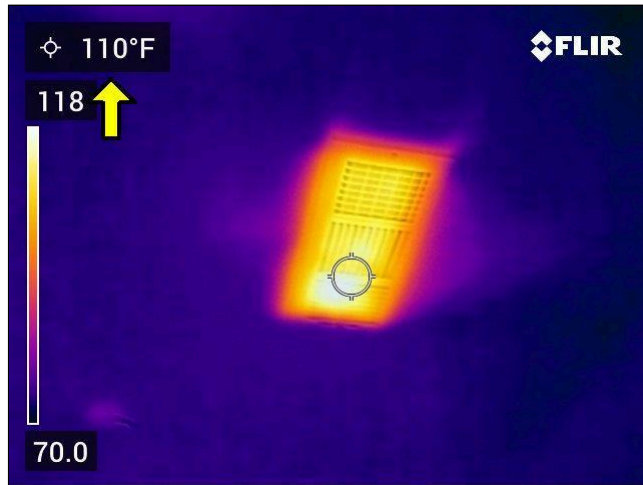
(2) The furnace was tested and was functional/ operated at the time of the inspection.
(3) The upstairs furnace was tested and turned on, however it appeared to have an inadequate temperature at the time of the inspection. We recommend further evaluation by a qualified licensed HVAC contractor and have repairs/replacement made if needed prior to the end of your contingency period.



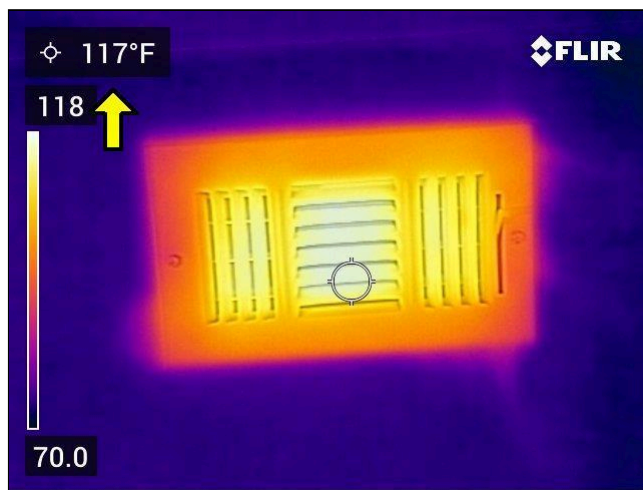
12.0.B Item 3(Picture)

IN NI NP RR IO Items

- (4) The left side furnace could not be inspected due to not being located at the time of the inspection. We recommend asking the seller where the left side furnace is located and have the furnace inspected and its related components by this company or by a qualified person once the furnace has been located prior to the end of your contingency period.
- (5) Both of the downstairs left side and right side furnaces were tested and were observed to be functional/ operated at the time of the inspection.
- (6) **Infrared Thermal photo of the furnace(s) being tested.**



12.0.B Item 4(Picture)



12.0.B Item 5(Picture)

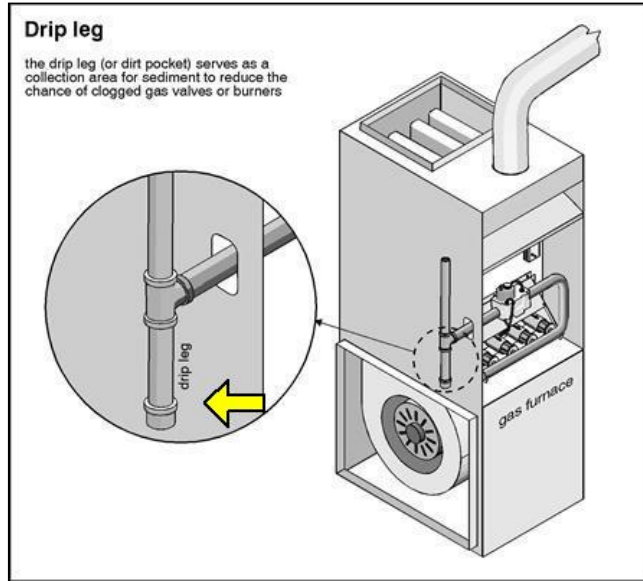
IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(7) A gas leak test was conducted at accessible gas fittings at the furnace using a gas leak detector. There were no gas leaks detected at the time of the inspection.

(8) The gas supply pipe at the furnaces did not contained a drip leg/ sediment trap. This may have been standard at the time of installation but now is highly recommended. The purpose of a drip leg is to help prevent sediment/ debris from entering and clogging the furnace gas valve which could cause the furnace to shut down. We recommend having a drip leg installed at both furnaces by a qualified licensed HVAC contractor.



12.0.B Item 6(Picture)

12.1.B THERMOSTAT(S)

Comments:

IN NI NP RR IO Items

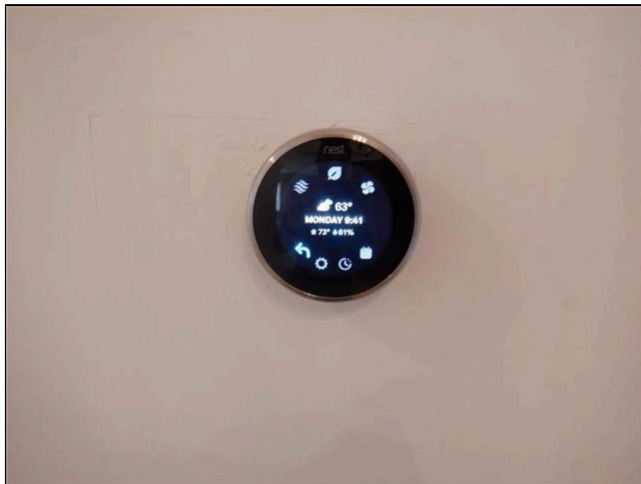
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

All of the thermostats in the house were operational when used to operate the HVAC systems at the time of the inspection. Programmable thermostats are not adjusted and no testing is done to check the accuracy or programmed settings of the thermostat. If concerned we recommend verifying proper operation of the programmable settings prior to the end of your contingency period by a qualified person.



12.1.B Item 1(Picture)



12.1.B Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



12.1.B Item 3(Picture)

12.2.B VENTS AND FLUES (HEATING SYSTEM)

12.3.B DISTRIBUTION SYSTEMS (INCLUDING FANS, PUMPS, DUCTS, INSULATION, FILTERS, REGISTERS)

DUCTWORK: INSULATED

Comments:

The air filter(s) for the HVAC system are dirty. We recommend recommend replacing by a qualified person.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

13(A) . Guest House Cooling

The home inspector shall observe: Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room. The home inspector shall describe: Energy sources; and Cooling equipment type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance The home inspector is not required to: Observe window air conditioners or operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms.



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

13.0.A COOLING EQUIPMENT

COOLING EQUIPMENT TYPE: AIR CONDITIONER

NUMBER OF A/C UNITS: ONE

CONDENSER AGE: LESS THAN 10 YEARS

Comments:

- (1) **Photo of the A/C unit(s).**



13.0.A Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(2) The AC condenser is making excessive noise when operating. We recommend further evaluation by a qualified licensed HVAC contractor to obtain an estimate of life remaining, or cost to repair/replace.



13.0.A Item 2(Picture)

(3) The AC unit(s) are not strapped to pad(s). Most manufacturers installation instructions require strapping condensers to the pads. Movement of the units due to internal vibration (or earthquake) can damage the refrigerant lines and their connections. We advise repair with qualified person.



13.0.A Item 3(Picture)

(4) The air conditioner did operate but failed to produce cold air. We recommend a qualified licensed HVAC inspect and repair as needed prior to the end of your contingency period.

13.1.A CONDENSATE EQUIPMENT

13.2.A COOLING EQUIPMENT - OTHER

Comments:

We recommend further evaluation of the entire AC system and its related components by a qualified licensed HVAC contractor prior to the end of your contingency period due to the number of defects discovered and necessary repairs and replacement made as needed.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

13(B) . Main House Cooling

The home inspector shall observe: Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room. The home inspector shall describe: Energy sources; and Cooling equipment type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance The home inspector is not required to: Observe window air conditioners or operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms.



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

13.0.B COOLING EQUIPMENT

COOLING EQUIPMENT TYPE: AIR CONDITIONER

NUMBER OF A/C UNITS: THREE

CONDENSER AGE: LESS THAN 10 YEARS

Comments:

(1) **Photo of the A/C unit(s).**



13.0.B Item 1(Picture)



13.0.B Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(2) The left side AC condenser did not turn on when the AC was tested. We recommend a qualified licensed HVAC contractor to inspect and repair as needed prior to the end of your contingency period.

(3) An ambient air test was performed by using a thermal camera on both of the middle downstairs and upstairs AC systems to determine if the difference in temperatures of the supply and return air was between 14 degrees and 22 degrees which indicates that the AC systems are cooling as intended.

The air supplied to the downstairs was measured around **52 degrees**.

The air returning to the system (return) downstairs was measured at **73 degrees**.

The air supplied to the upstairs was measured around **42 degrees**.

The air returning to the system (return) upstairs was measured at **61 degrees**.

This indicates that the range in temperature drop is normal at both AC systems. This is not an exhaustive test and cannot predict the performance of the AC systems on extremely hot or humid days.



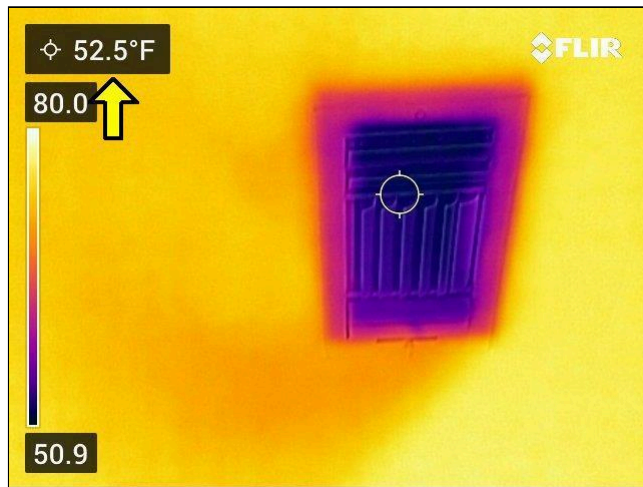
13.0.B Item 3(Picture)



13.0.B Item 4(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



13.0.B Item 5(Picture)



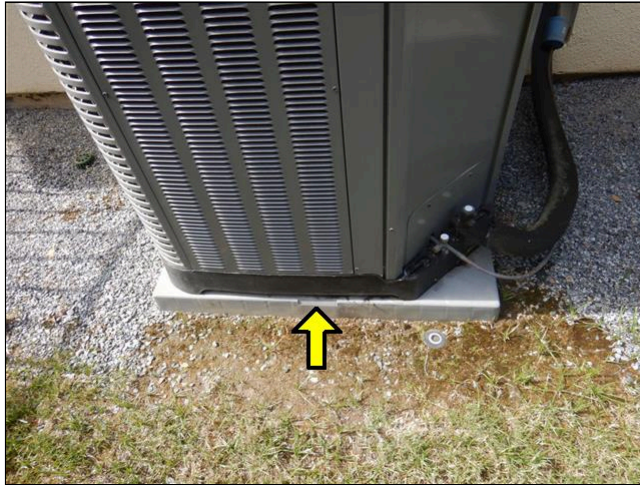
13.0.B Item 6(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(4) The AC unit(s) are not strapped to pad(s). Most manufacturers installation instructions require strapping condensers to the pads. Movement of the units due to internal vibration (or earthquake) can damage the refrigerant lines and their connections. We advise repair with qualified person.



13.0.B Item 7(Picture)

13.1.B CONDENSATE EQUIPMENT

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

14(A) . Guest House

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

14.0.A INSULATION IN THE ATTIC SPACE

ATTIC INSULATION: FIBERGLASS BATT
R-VALUE (APPROXIMATE): R-19 OR BETTER

Comments:

- (1) [Photo of the insulation.](#)



14.0.A Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

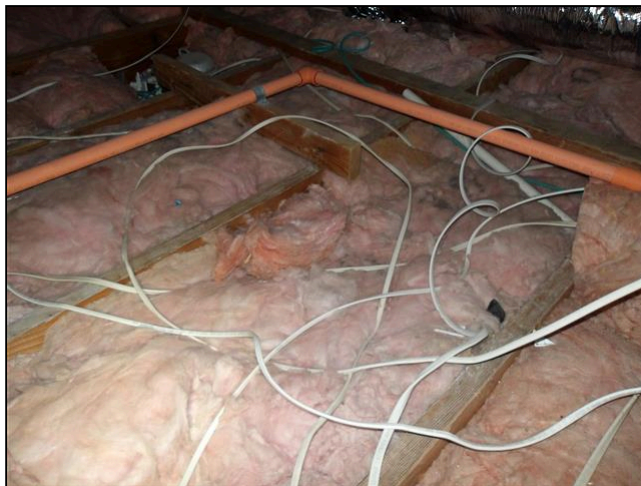
IN NI NP RR IO Items

- (2) The insulation in the attic appears to be functioning as intended.
- (3) The attic space access hatch cover is not insulated. We recommend insulating the attic access hatch cover to reduce unwanted heat loss/gain by a qualified person.



14.0.A Item 2(Picture)

- (4) Insulation was noted to be in contact with several recessed lights in the attic area. This is a safety/ fire hazard. We recommend removal/ necessary corrections by a qualified person.



14.0.A Item 3(Picture)

14.1.A BATHROOM VENTING

14.2.A VENTILATION OF THE ATTIC SPACE

ATTIC VENTILATION: SOFFIT VENTS, ROOF VENTS, THERMOSTATICALLY CONTROLLED FAN

14.3.A ATTIC VENT FAN

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The attic vent fan did operate when tested at the time of the inspection.



14.3.A Item 1(Picture)



14.3.A Item 2(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

14(B) . Main House

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

14.0.B INSULATION IN THE ATTIC SPACE

ATTIC INSULATION: FIBERGLASS BATT
R-VALUE (APPROXIMATE): R-19 OR BETTER

Comments:

- (1) [Photo of the insulation.](#)



14.0.B Item 1(Picture)

- (2) The insulation in the attic appears to be functioning as intended.
- (3) The attic space access hatch cover is not insulated. We recommend insulating the attic access hatch cover to reduce unwanted heat loss/gain by a qualified person.

14.1.B VENTILATION OF THE ATTIC SPACE

ATTIC VENTILATION: GABLE VENTS, SOFFIT VENTS, SIDE WALL VENTS, ROOF VENTS

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

15(A) . Guest House

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.



Note: Much of the home structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Identification of portions of the wall structure not directly visible requires logical assumptions on the part of the Inspector that are based on the Inspectors past experience and knowledge of common building practices.

Upon observing indications that structural problems may exist that are not readily visible, or the evaluation of which lies beyond the Inspector's expertise, the inspector may recommend evaluation or testing by a specialist that may include invasive measures, which would require homeowner permission.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

15.0.A STRUCTURE (GENERAL INFORMATIONAL)

ATTIC ACCESS/ LOCATION: SCUTTLE HOLE (BEDROOM CLOSET)

WALL STRUCTURE: WOOD STUDS

Comments:

- (1) [Photo of the attic space/ garage slab.](#)



15.0.A Item 1(Picture)

- (2) At the time of the inspection, the Inspector observed no visual defects in the condition of the homes structure. A general home inspection does not include the evaluation of any structural components that are hidden behind floors, walls, or ceiling coverings. Such as anchor bolts, shear walls and seismic hardware, but is visual and non-invasive only.

15.1.A ROOF STRUCTURE AND ATTIC SPACE

ROOF TYPE: HIP

IN NI NP RR IO Items

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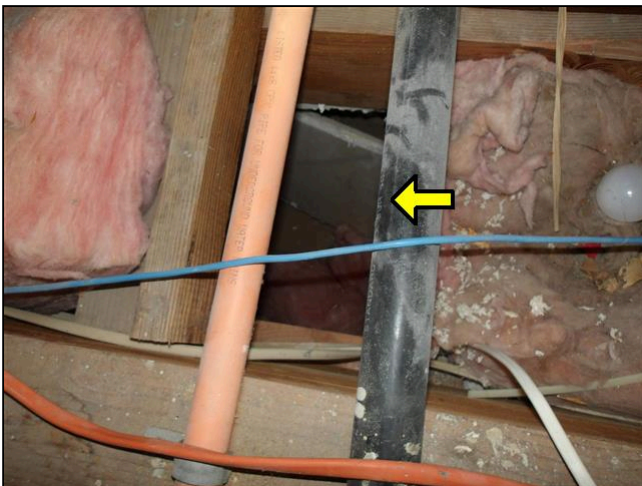
IN NI NP RR IO Items

ROOF STRUCTURE: STICK-BUILT, PLYWOOD SHEATHING

METHOD USED TO OBSERVE THE ATTIC SPACE: CRAWLED, LIMITED ACCESS

Comments:

(1) A hole was observed in the attic ceiling to the drop ceiling above the bathroom. We recommend further evaluation and any necessary repairs made by a qualified licensed contractor.



15.1.A Item 1(Picture)

(2) Due to the structure of the roof/ framing and forced air handling components, some areas of the attic space could not be inspected.

(3) Due to the structure of the roof/ framing and forced air handling components, some areas of the attic space could not be inspected.

15.2.A SLAB

1ST LEVEL FLOOR STRUCTURE: SLAB

Comments:

The concrete slab throughout the property was not visible to inspect. Home Inspectors do not move stored items or lift floor coverings which may conceal cracks or other concealed defects that the inspector cannot see. This should not deter you from further evaluation by a qualified licensed foundation contractor or structural engineer prior to the end of your contingency period if concerned about the slab. It would be your (clients) responsibility to arrange this and for lifting or removing of the flooring.

15.3.A FOUNDATION

FOUNDATION: POURED CONCRETE

15.4.A FOUNDATION BOLT(S)

FOUNDATION BOLTS: NOT VISIBLE

Comments:

Foundation bolts are not visible due to finished wall materials. However, due to the age of the house foundation bolts are likely to be present.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

15(B) . Main House

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.



Note: Much of the home structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Identification of portions of the wall structure not directly visible requires logical assumptions on the part of the Inspector that are based on the Inspectors past experience and knowledge of common building practices.

Upon observing indications that structural problems may exist that are not readily visible, or the evaluation of which lies beyond the Inspector's expertise, the inspector may recommend evaluation or testing by a specialist that may include invasive measures, which would require homeowner permission.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

15.0.B STRUCTURE (GENERAL INFORMATIONAL)

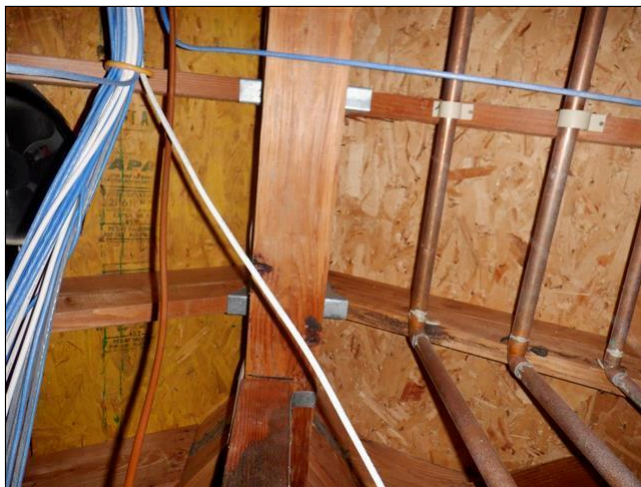
ATTIC ACCESS/ LOCATION: SCUTTLE HOLE

WALL STRUCTURE: WOOD STUDS

Comments:

(1) At the time of the inspection, the Inspector observed no visual defects in the condition of the homes structure. A general home inspection does not include the evaluation of any structural components that are hidden behind floors, walls, or ceiling coverings. Such as anchor bolts, shear walls and seismic hardware, but is visual and non-invasive only.

(2) [Photo of the attic space.](#)



15.0.B Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



15.0.B Item 2(Picture)



15.0.B Item 3(Picture)



15.0.B Item 4(Picture)

15.1.B ROOF STRUCTURE AND ATTIC SPACE

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

ROOF TYPE: GABLE, HIP, ROUND
ROOF STRUCTURE: STICK-BUILT, PLYWOOD SHEATHING
METHOD USED TO OBSERVE THE ATTIC SPACE: FROM THE ENTRY

Comments:

Due to the structure of the roof/ framing and forced air handling components, some areas of the attic space could not be inspected.

15.2.B SLAB

1ST LEVEL FLOOR STRUCTURE: SLAB

Comments:

The concrete slab throughout the property was not visible to inspect. Home Inspectors do not move stored items or lift floor coverings which may conceal cracks or other concealed defects that the inspector cannot see. This should not deter you from further evaluation by a qualified licensed foundation contractor or structural engineer prior to the end of your contingency period if concerned about the slab. It would be your (clients) responsibility to arrange this and for lifting or removing of the flooring.

15.3.B FOUNDATION

FOUNDATION: POURED CONCRETE

15.4.B FOUNDATION BOLT(S)

FOUNDATION BOLTS: NOT VISIBLE

Comments:

Foundation bolts are not visible due to finished wall materials. However, due to the age of the house foundation bolts are likely to be present.

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

16. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. Inspection of built-in appliances is limited. It does not include dismantling and inspection of internal parts. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable, or determine the effectiveness or life remaining of any built-in appliances.



IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

16.0 MICROWAVE (BUILT-IN)

Comments:

Photo of microwave being tested.

The built in microwave was tested with a microwave testing device and was functional at the time of the inspection. This is not an exhaustive test, and does not predict the performance of the microwave.



16.0 Item 1(Picture)

16.1 DISHWASHER

Comments:

IN NI NP RR IO Items

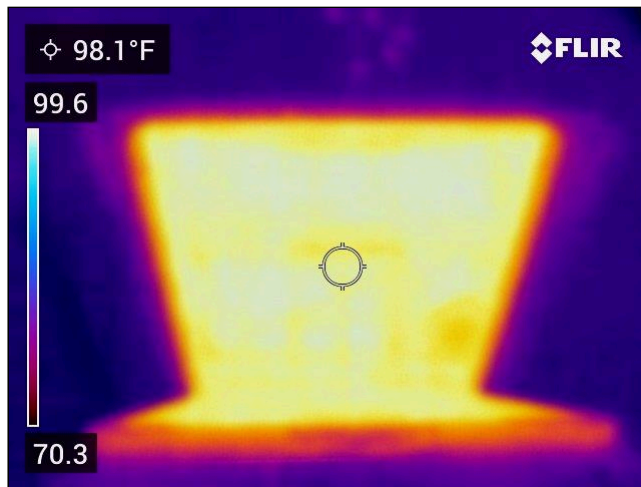
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

Infrared Thermal photo of the dishwasher being tested.

The dishwasher was tested and functioned properly at the time of the inspection. This is not an exhaustive test and does not verify the cleaning efficiency of the dishwasher.



16.1 Item 1(Picture)



16.1 Item 2(Picture)

IN NI NP RR IO Items

16.2 FOOD WASTE DISPOSER

Comments:

The food waste disposer was tested and functioned properly at the time of the inspection. This is not an exhaustive test and does not verify the efficiency of the unit.

16.3 RANGE HOOD/ VENT

RANGE HOOD/ EXHAUST TYPE: VENTED

Comments:

The range exhaust vent was tested and was functional at the time of the the inspection. This is not an exhaustive test, and does not evaluate the performance or effectiveness of the unit.

16.4 RANGE/ OVEN

RANGE/ OVEN: GAS

Comments:

Infrared Thermal photo of the oven being tested.

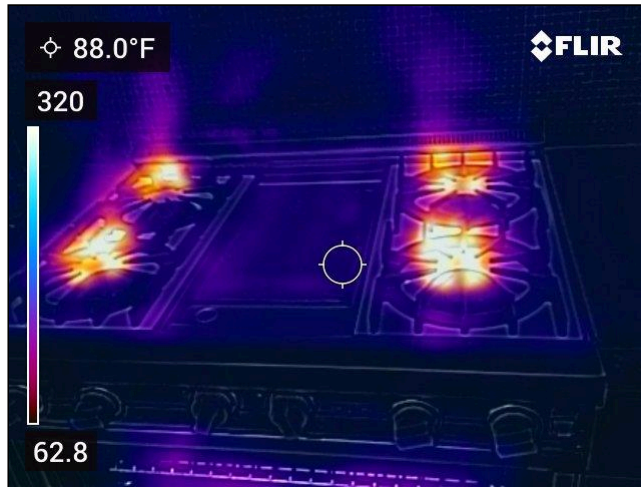
The oven was tested and was functional at the time of the inspection. This test is not exhaustive and does not confirm the performance, accuracy, or effectiveness of the oven.



16.4 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only



16.4 Item 2(Picture)



16.5 WALL OVEN

Comments:

Infrared Thermal photo of the wall oven(s) being tested.

Both of the wall ovens were tested and were both functional at the time of the inspection. This test is not exhaustive and does not confirm the performance, accuracy, or effectiveness of the wall ovens.



16.5 Item 1(Picture)



16.5 Item 2(Picture)



16.6 REFRIGERATOR

Comments:

(1) Refrigerators built in or not are not part of our general home inspection and are not inspected or commented on. If concerned about its serviceability and functionality we recommend further evaluation by a qualified licensed appliance contractor prior to the end of your contingency period.

(2) I could not identify or inspect the outlet or water shut off valve for the refrigerator. I do not move refrigerators in order to access the outlet or water shut off valve. Moving refrigerators is out of the scope of a home inspection are not moved to inspect the walls/floors/other components behind them. If concerned we recommend verifying that the outlet and water shut off valve is operational, not corroded and not leaking prior to the end of your contingency period.



16.7 WARMING DRAWER

Comments:

IN NI NP RR IO Items

The warming drawer did not function when tested at the time of the inspection. We recommend further evaluation and necessary repairs or replacing by a qualified licensed appliance contractor.

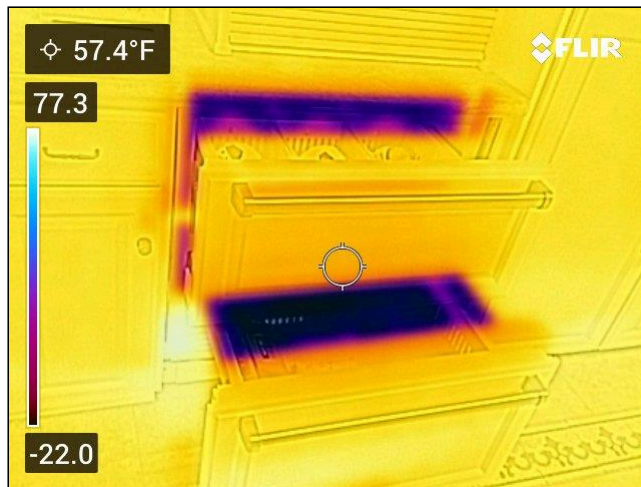


16.7 Item 1(Picture)

• □ □ □ □ 16.8 KITCHEN APPLIANCES - OTHER

Comments:

Both of the cooling drawers were tested and were both functional at the time of the inspection. This test is not exhaustive and does not confirm the performance, accuracy, or effectiveness of the cooling drawers.



16.8 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

17. Gas, Electric, Water Shut-Off Locations

Home inspectors do not operate (turn) the main water supply shut off valve or the main gas shut off valve in accordance with industry standards of practice. If you are concerned about the functionality of these valves we recommend contacting a licensed plumber prior to the end of your contingency period for review. If you have questions about these exclusions, please contact your home inspector.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

17.0 MAIN GAS SHUT-OFF VALVE

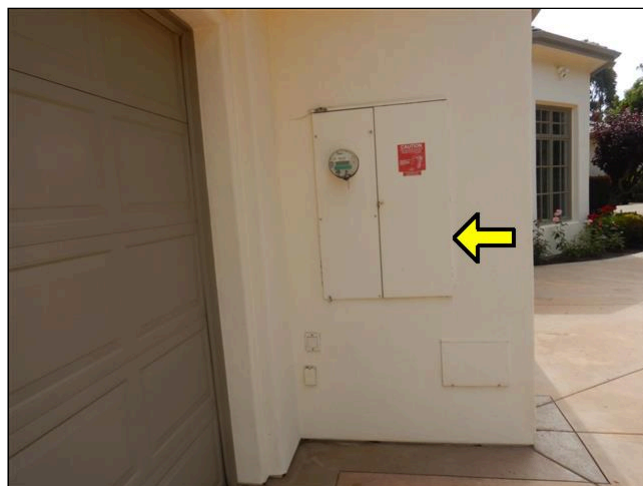
Comments:

The gas meter was not located. We recommend asking the seller to verify the location and we recommend having it inspected prior to the end of your contingency period.

17.1 MAIN ELECTRICAL PANEL

Comments:

The Main Electrical panel is located at the left exterior side of the property (facing front).



17.1 Item 1(Picture)

17.2 MAIN WATER SHUT-OFF

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

The main water shut-off valve is located at the left exterior side of the property (facing front).



17.2 Item 1(Picture)

17.3 SUB ELECTRICAL PANEL(S)

Comments:

(1) A sub panel is located on the front exterior of the guest house.



17.3 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

(2) A sub panel is located in the right side hall closet.



17.3 Item 2(Picture)

(3) A sub-panel is located in the garage.



17.3 Item 3(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

18. POOL, SPA, EQUIPMENT & SAFETY

Pools are fun, but children and adults can lose their life quickly. Over 4000 lives annually are lost with one-third under the age of 14. **A child can drown in the time it takes to answer a phone.** A swimming pool is 14 times more likely than a motor vehicle to be involved in the death of a child age 4 and under. An estimated 5,000 children ages 14 and under are hospitalized due to near-drownings each year; 15 percent die in the hospital and as many as 20 percent suffer severe, permanent brain damage. Of all preschoolers who drown, 70 percent are in the care of one or both parents at the time of the drowning and 75 percent are missing from sight for five minutes or less. Drowning surpasses all other causes of death to children age 14 and under in Arizona, California, Florida, Hawaii, Montana, Nevada, Oregon, Utah and Washington.

A pool alarm with a loud speaker system to sound outside as well as inside the home could save a life. Even if you do not have children you should be concerned. 35% of children that drowned did so in someone else's pool. For more info, do an Internet search on pool safety or visit this website: http://www.ihf.org/foryourhealth/article_children.html

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

IN NI NP RR IO Items

18.0 OPERATIONAL CONDITION OF POOL

Comments:

(1) Photo of the pool/ spa.



18.0 Item 1(Picture)

(2) Our company does not inspect pools for leaks or seepage. Only components readily accessible are inspected. If concerned we recommend further evaluation by a qualified licensed pool contractor.

(3) There is no visible rescue/ safety equipment placed around the pool/ spa area. This is a safety concern. We recommend placing the required rescue/ safety equipment where needed around the pool as a safety upgrade.

18.1 OPERATIONAL CONDITION OF SPA

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

(1) The spa jets functioned when tested.



18.1 Item 1(Picture)

(2) Our company does not inspect spas for leaks or seepage. Only components readily accessible are inspected. If concerned we recommend further evaluation by a qualified licensed pool contractor.



18.2 FENCING/ COVER

Comments:

(1) There is no self-closing device at the left side pool gate. Gates providing access to the pool area must self close and latch without assistance. This is a safety concern. We recommend having a self-closing device installed by a qualified person.



18.2 Item 1(Picture)

(2) Door alarms should be installed on all house doors that lead to the pool area due to no barrier between the house and the pool. We recommend installing door alarms in accordance with your local building requirements by a qualified licensed contractor.



18.3 SURFACE WALLS AND FLOOR OF POOL AND OR SPA

SHAPE: RECTANGLE

WALL MATERIALS: PEBBLE TECH

Comments:

IN NI NP RR IO Items

(1) Calcium nodules are observed at the pool surface. This can be caused by poor chemical maintenance or unbalanced Ph levels. We recommend further evaluation by a qualified licensed pool contractor prior to the end of your contingency period.



18.3 Item 1(Picture)

(2) Several tiles are missing from the pool walls. We recommend having the tiles repaired or replaced by a qualified licensed pool contractor.



18.3 Item 2(Picture)

18.4 PERMANENT ACCESSORIES (steps, rails, diving board, ladder)

Comments:

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

IN NI NP RR IO Items

There are no steps or ladders to exit the pool. This poses a potential drowning hazard. We recommend installing steps or a ladder by a qualified licensed pool contractor for safety.



18.4 Item 1(Picture)

18.5 PLUMBING AND PUMPS

Comments:

(1) The pool/spa pump(s) were tested and were found to be operational at the time of the inspection. Pumps are not evaluated for capacity, efficiency, flow rate or pressure.



18.5 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

IN NI NP RR IO Items

(2) **Note:** White plastic PVC pipes were exposed to direct sunlight at pool equipment. This type material is deteriorated by the ultra-violet (UV) radiation in sunlight, and this condition will result in premature failure of pipes compared to similar pipes protected from UV.



18.5 Item 2(Picture)



18.6 HEATER

Comments:

(1) The pool furnace was off at the time of the inspection. The gas supply has been turned off. Home inspectors do not light pilots. We recommend further evaluation and verifying that the system operates by a qualified licensed pool contractor prior to the end of your contingency period.



18.6 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

IN NI NP RR IO Items

(2) The gas supply pipe at the pool/ spa heater did not contained a drip leg/ sediment trap. This may have been standard at the time of installation but now is highly recommended. The purpose of a drip leg is to prevent sediment/ debris from entering and clogging the heater gas valve which could cause the heater to shut down. We recommend having a drip leg installed by a qualified licensed plumber or licensed pool contractor.



18.6 Item 2(Picture)



18.7 ELECTRICAL COMPONENTS

Comments:

(1) The control button(s) located at the spa did not function when tested. We recommend further evaluation by a qualified licensed pool contractor prior to the end of your contingency period and necessary repair or replacement as needed.



18.7 Item 1(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

IN NI NP RR IO Items

(2) Picture inside the pool sub-panel. The dead front cover was removed and breakers, wiring and grounding were inspected. Appears to be functioning as intended.



18.7 Item 2(Picture)



18.7 Item 3(Picture)

IN NI NP RR IO Items

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair/ Replace, IO= Information Only

IN NI NP RR IO Items

(3) The pool equipment electric panel breaker labels are illegible. We recommend having the breakers properly labeled for safety by a qualified person.

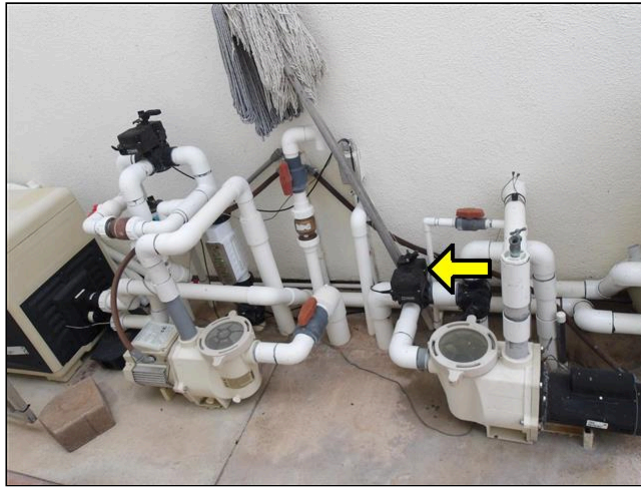


18.7 Item 4(Picture)

18.8 VALVES

Comments:

A valve handle is damaged. We recommend replacement by a qualified licensed pool contractor.



18.8 Item 1(Picture)

18.9 SKIMMER

18.10 GFCI PROTECTION

Comments:

The GFCI outlet was tested and was found to be operable at the time of the inspection.

18.11 COPING/ DECK

18.12 DRAIN COVERS

IN NI NP RR IO Items

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IN NI NP RR IO Items

18.13 POOL/ SPA LIGHT

Comments:

(1) The spa light(s) operated when tested.



18.13 Item 1(Picture)

(2) The pool light(s) did not function when tested. We recommend further evaluation and repair or replacement as needed by a qualified pool contractor.



18.13 Item 2(Picture)

(3) Pool and spa light(s) are not taken out and we did not observe the condition of the wiring to the pool and spa light(s). This is out of the scope of a general home inspection. If concerned about the wiring to these lights we recommend further evaluation by a licensed pool contractor prior to the end of your contingency period.

18.14 POOL/ SPA FILL

Comments:

The pool fill device was tested and was operational at the time of the inspection.

18.15 CHLORINATOR

Comments:

The chlorinator appears to be functioning as intended.

IN NI NP RR IO Items

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IN NI NP RR IO Items



18.16 POOL SWEEP

Comments:

The pool sweep functioned at the time of the inspection. This is not an exhaustive test and does not verify the cleaning efficiency of the unit.



18.16 Item 1(Picture)



18.17 FILTER

Comments:

The filter appeared to be functional at the time of the inspection. This is not an exhaustive test and does not verify the cleaning efficiency of the unit.



18.17 Item 1(Picture)

IN NI NP RR IO Items

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Unless so mentioned in this report, I did not test water for bacteria or quality. The pool was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

19. SEWER SCOPE INSPECTION

The purpose of this service is to conduct a video camera inspection of the main sewer line from the main structure to the city sewer main (or sewer service point to the property). No other areas were checked and are expressly disclaimed. The sewer line is accessed through an access point in the main structure, which may be a roof vent or cleanout - the inspector will determine the best access point to use when on site. Our goal is to determine if the main sewer line from the main structure to the sewer service entry point is free from obstructions, and to document any items of concern. This service does not inspect or scope every drain line in the structure(s) on the property. Service is limited to a single readily accessible access point; no destructive testing is performed.

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

IN NI NP RR IO Items

19.0 SCOPE OF WORK

Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

IMPORTANT: A Sewer Scope Inspection is NOT intended to reveal minor defects. Please familiarize yourself by reading the Inspection agreement for limitations.

You have contracted with The Property Inspection Pros to perform a generalist sewer scope inspection on this properties main sewer pipe. This sewer scope inspection is limited to a visual inspection of the main sewer pipe only. This means that we can only evaluate what we can see.

Items that are not listed in this report were not inspected. The observations and opinions expressed within the report take precedence over any verbal comments. It should be understood that the inspector is only on-site for an hour or so and will not comment on insignificant deficiencies, but confine the observations to truly significant defects or deficiencies that significantly affect the value, desirability, habitability or safety of the structure.

A sewer scope inspection is intended to identify evidence of problems that exist in the properties main sewer pipe at the time of the inspection. Since sewer scope inspections are non-destructive, the inspector can only report on the evidence that is observable at the time of the inspection. An inspection is specifically not exhaustive in nature and therefore cannot identify defects that may be discovered only through more rigorous testing than an inspection allows. A generalist inspection is essentially visual and does not include the dismantling of any component. Consequently, a generalist inspection and report will not be as comprehensive or technically exhaustive as that by a specialist, and it is not intended to be. Please see our Sewer Scope standards of Practice for more information.

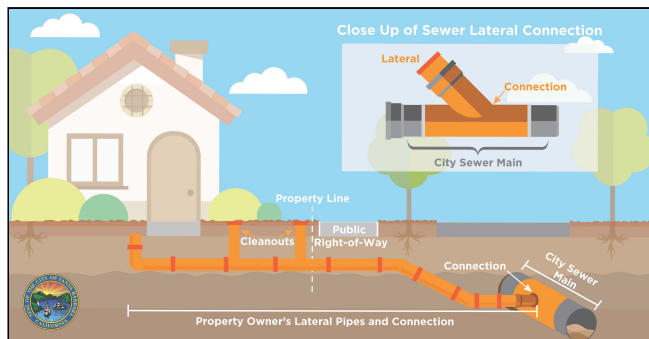
Client must obtain estimates for any items noted in the report that require further evaluation or repair.

The inspector cannot know what expense would be considered significant by client, as everyone's budget is different.

It is client's responsibility to obtain quotations prior to the end of the contingency period.

CLIENT SHOULD CONSIDER ALL DEFECTS IDENTIFIED IN THE REPORT AS SIGNIFICANT.

It is client's responsibility to call a licensed professional immediately and provide them with a copy of this report.



19.0 Item 1(Picture)

IN NI NP RR IO Items

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IN NI NP RR IO Items

**19.1 HOW TO READ THIS REPORT****Comments:**

The inspection report has INFORMATION tabs, items listed in the information tabs are:

IN - Items Inspected or Inspected OK = Inspector visually observed the item, component, or unit and if no other comments were made then it appeared to be functioning as intended, allowing for normal wear and tear.

NI, NP - This inspection report has LIMITATIONS tab, click the limitations tab to read items not inspected, not present, or other limitations:

Not Inspected = Inspector did not inspect this item, component, or unit and made no representations of whether or not it was functioning as intended, and will state a reason for not inspecting.

Not Present = This item, component, or unit is not in this home or building.

IO - Information Only

This inspection report has LIMITATIONS and EXCLUSIONS section. The limitations and exclusions section describes what is and is not included in this inspection. **Please Read Carefully.**

INSPECTION DEFECT CATEGORIES

R/R - Action Item Repair or Replace- This category is composed of immediate concerns or items that could represent a significant expense to repair or replace. When this action is indicated, you should consider having a licensed expert in that field further evaluate that entire system BEFORE THE END OF YOUR CONTINGENCY PERIOD.

The sewer scope inspection is limited to the date and time of the inspection only as conditions in the sewer can change over time. The sewer scope inspection is only a visual inspection of the accessible sewer line and may be limited by an obstruction, debris, build-up, or access. The inspector uses a camera to perform a visual inspection of the accessible main sewer line from no more than three access points. The report is based solely on the opinion of the inspector with the information he has available at the time of the inspection. The Property Inspection Pros does not offer a guarantee or warranty as part of this inspection report. The camera is only run through the main sewer line and no secondary lines will be inspected or included as part of the report. Lines 2" in diameter or smaller and traps less than 6" in diameter will not be inspected. Marked areas are for reference only and may not be exact due to signal interference and/or depth of the sewer. Damage may exceed beyond the marked areas (especially in Cast Iron). We recommend having a licensed plumbing contractor re-locate prior to repair to ensure accuracy as markings may have been moved or altered. Secondary sewer lines can be inspected upon request for an additional fee.

During the course of a sewer scope inspection verbal interaction occurs between the parties who are present. It is important to understand that spoken comments cannot be relied upon since there is no transcription of conversations. Therefore, no one relying on the findings of this inspection should consider any oral statements made during the inspection. Only the written comments in this inspection report should be relied upon regardless of any oral comments made during the inspection appointment. If you have

IN NI NP RR IO Items

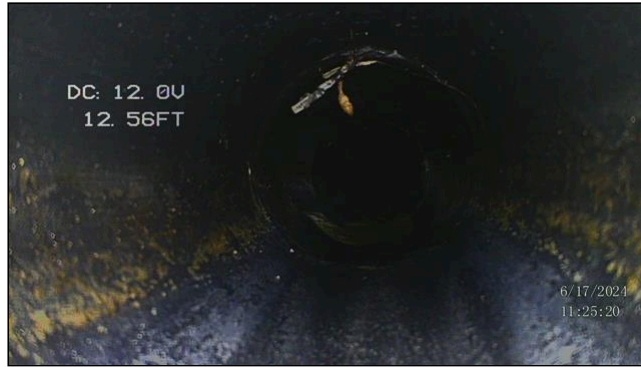
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, IO= Information Only

any questions about the content in this report or wish to have clarification on any comment, you must contact the inspector within 3 days of the inspection.

19.2 MAIN SEWER PIPE MATERIAL(S) OBSERVED

Comments:

ABS

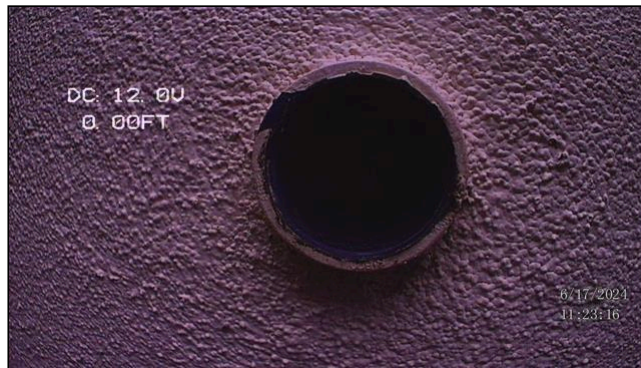


19.2 Item 1(Picture)

19.3 MAIN SEWER PIPE CLEAN OUT LOCATION(S)

Comments:

The main sewer line was inspected by inserting the camera at the sewer line clean out at the right side of the property master bathroom.



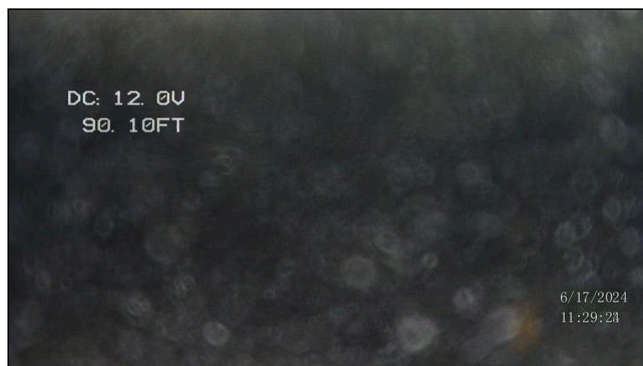
19.3 Item 1(Picture)

19.4 SEWER SCOPE INSPECTION FINDINGS

Comments:

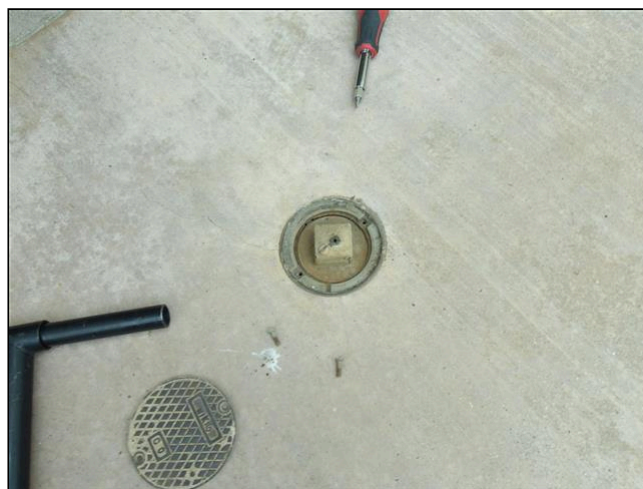
IN NI NP RR IO Items

(1) The main sewer pipe was holding water at approximately 90 feet from the access point. We recommend further evaluation prior to the end of your contingency period by a licensed plumber and necessary repairs or replacement made as needed.



19.4 Item 1(Picture)

(2) The clean out drain plug (cap) of the main sewer pipe in front of the garage could not be made to come off. Due to this condition the main sewer pipe could not be inspected through this cleanout and was inspected through the master bathroom cleanout. We recommend contacting a licensed plumber and having this clean out cap removed and the main sewer pipe inspected prior to the end of your contingency period by this company.



19.4 Item 2(Picture)

(3) Clean out(s) were observed to be more than 100 feet apart from one another. We recommend installing additional clean outs where needed by a licensed plumber for the servicing of the line, in the event there is a blockage that needs to be removed.

(4) The camera could not travel beyond 150 feet from the access point in the main sewer pipe due to the length of the pipe and/or multiple turns in the pipe. The remaining length of the pipe and the connection to the street sewer main line could not be evaluated.

19.5 SEWER INSPECTION VIDEO(S)

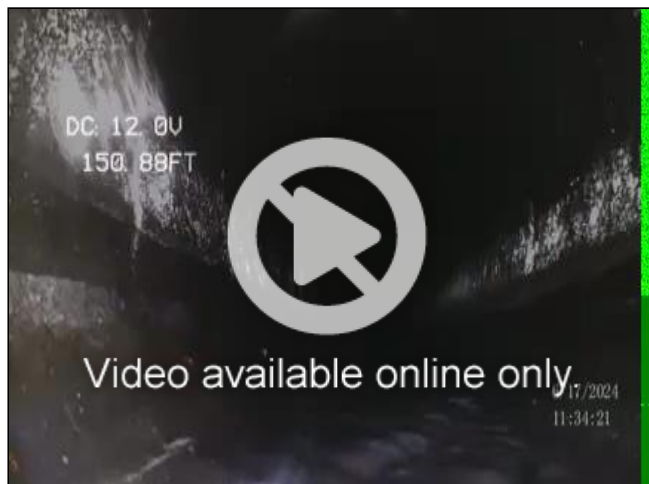
Comments:

IN NI NP RR IO Items

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IN NI NP RR IO Items

(1) Click play to view video.



19.5 Item 1(Video)

(2) Click the link to view your electronic report and video(s).

Copy and paste in your search bar If you are unable to click on the link.

19.6 LIMITATIONS AND EXCLUSIONS

Comments:

IN NI NP RR IO Items

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Limitations, Exceptions & Exclusions Limitations:

A sewer scope inspection is not technically exhaustive. A sewer scope inspection will not identify concealed or latent defects. This Standards of Practice applies to properties with four or fewer residential units.

Exceptions:

The sewer scope inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions. The sewer scope inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

Exclusions:

The inspector is not required to:

- A. remove or pull toilets to access the main or lateral sewer line.
- B. move any personal items or other obstructions, such as, but not limited to: throw rugs, carpeting, wall coverings, boxes, furniture, ceiling tiles, window coverings, equipment, plants, ice, debris, snow, or anything else that might restrict the sewer scope inspection.
- C. climb a roof to access a sewer vent pipe if deemed unsafe by the inspector.
- D. enter or access any area or do anything that may, in the inspector's opinion, be unsafe or dangerous to him/herself or others, or damage property.
- E. enter crawlspaces or other areas that may be unsafe or not readily accessible.
- F. locate and/or mark any defect observed in the sewer scope video.
- G. provide the length of the main or lateral sewer line to the municipality's or HOA's tap or septic tank.
- H. scope or inspect underfloor or in-house portions of the building drain or sewer system.
- I. give correction, replacement or repair cost estimates.



19.7 STANDARDS OF PRATICE - (Sewer Scope Inspection)

Comments:

IN NI NP RR IO Items

(1) The sewer scope inspector will inspect and video-record:

- A. the main or exterior lateral sewer line from a proper cleanout or roof vent stack;
- B. record the entire video and provide the video to the client as either an online link or a physical copy;
- C. document any and all defects observed in the video inspection; and
- D. if a cleanout is not visible or accessible, the inspector will note that in the report.

When possible, the sewer scope inspector shall describe:

- A. the type of lateral sewer line or pipe materials.

The inspector shall report as in need of correction:

- A. the presence of visible cracks;
- B. the presence of any observed plant or tree root intrusion;
- C. the presence of any offset over ¼-inch;
- D. the presence of over 1 inch of standing water;
- E. the presence of a blockage or restriction;
- F. the presence of a crushed line or pipe;
- G. the presence of a broken line or pipe;
- H. the presence of a separated or disconnected line or pipe;
- I. the presence of excessive rust or scale;
- J. the presence of an excessive amount of grease;
- K. the presence of deteriorated concrete;
- L. the presence of an egg-shaped line;
- M. the presence of a collapsed line or pipe; and
- N. the presence of delamination or deterioration.

The inspector is not required to:

- A. identify the presence of Orangeburg or Bermico (bituminous fiber pipe).
- B. identify the presence of asbestos cement or Transite pipe.

IN NI NP RR IO Items

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IN NI NP RR IO Items

(2) The sewer scope inspector will inspect and video-record:

- A. the main or exterior lateral sewer line from a proper cleanout or roof vent stack;
- B. record the entire video and provide the video to the client as either an online link or a physical copy;
- C. document any and all defects observed in the video inspection; and
- D. if a cleanout is not visible or accessible, the inspector will note that in the report.

When possible, the sewer scope inspector shall describe:

- A. the type of lateral sewer line or pipe materials.

The inspector shall report as in need of correction:

- A. the presence of visible cracks;
- B. the presence of any observed plant or tree root intrusion;
- C. the presence of any offset over ¼-inch;
- D. the presence of over 1 inch of standing water;
- E. the presence of a blockage or restriction;
- F. the presence of a crushed line or pipe;
- G. the presence of a broken line or pipe;
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- J. the presence of an excessive amount of grease;
- K. the presence of deteriorated concrete;
- L. the presence of an egg-shaped line;
- M. the presence of a collapsed line or pipe; and
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The inspector is not required to:

- A. identify the presence of Orangeburg or Bermico (bituminous fiber pipe).
- B. identify the presence of asbestos cement or Transite pipe.

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IN NI NP RR IO Items



19.8 MAINTENANCE TIPS

Comments:

- Do not flush paper towels, feminine products, or plastics down the toilet.
- Limit the use of the garbage disposal and always run water for several minutes after use.
- Use screens on sink and tub drains to catch hair and other items from falling into the drain.
- Do not pour grease or oil down the drain.
- Have the main sewer line inspected every few years.



19.9 HELPFUL INFORMATION

Comments:

- Clay sewer lines are prone to root growth due to the connections not being completely sealed. Cabling the sewer on an annual basis is recommended for Clay sewer lines to help keep the roots under control and prevent sewer backups.
- Cast Iron and PVC sewer lines are sealed at the connections and should not allow roots into the line unless they are damaged. Roots in Cast Iron and PVC will generally warrant a repair of the damaged area but they can be managed with a foaming root killer (Root-X) to help prolong the life of the sewer. This is only considered a temporary solution because repair will ultimately be required (especially with Cast Iron).
- Cast Iron & Clay were used for almost all sewer lines until around 35 years ago when PVC became the material of choice for most plumbers. We are still using PVC today for sewer lines

IN NI NP RR IO Items

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The Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report and follow through with all recommendations noted throughout this report.

General Summary



The Property Inspection Pros

www.tpips.com
Cell - 760-525-5340
Certified Professional Inspector

Customer
Ricky Jimmy

Address
3212 Main Pl
Rancho Santa Fe CA 92067

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.1 TILE ROOF MATERIALS

Repair or Replace

(2) There are several missing, damaged, cracked and slipped roof tiles noted at several areas throughout the roof. We recommend further evaluation of the entire roof prior to the end of your contingency period by a licensed roof contractor and necessary repairs or replacement made.

1.2 FLASHINGS AND ROOF PENETRATIONS

Inspected

No saddle or cricket flashing was installed at the chimney. This is required when chimneys are 30 inches wide or more. We recommend further evaluation and necessary corrections by a licensed roof contractor.

1.3 ROOF DRAINAGE (GUTTERS/ DOWNSPOUTS)

Repair or Replace

(2) Gutters require cleaning. We recommend having the gutters cleaned by a qualified contractor.
(3) Some of the downspouts need extension and/or a buried drain line to carry water away from the home at several areas. We recommend necessary corrections where needed by a qualified contractor.
(4) There are upper level roof downspouts that discharge water onto the lower roof. This causes

excessive water to flow in a concentrated portion of the roof causing wear, and staining. During heavy rain water can also be forced under the roofing material causing leaks. We recommend rerouting the downspouts to direct water away from the lower roof to an approved location such as a lower gutter, or a downspout all the way to the ground by a qualified contractor.

1.5 SKYLIGHT(S) / SOLAR TUBE(S)**Inspected**

Skylight(s) are installed in the home. As manufacturers differ in design and installation methods, improper or non-standard sealing methods are impossible to detect without an intrusive roof inspection. The tile roof covering precludes us from evaluating the installation and flashings. Skylights may leak at any time. We recommend obtaining a roof certification before the close of escrow if the client is concerned.

1.6 DETACHED HOUSE ROOF**Repair or Replace**

(2) There are several cracked and slipped roof tiles noted at several areas. We recommend further evaluation of the entire roof prior to the end of your contingency period by a licensed roof contractor and necessary repairs or replacement made.

2(A) . Guest House Exterior**2.5.A DOORS (EXTERIOR)****Repair or Replace**

(1) The french doors at the detached guest house rub each other. This can be caused by several factors including poor installation or settlement of the house. We recommend necessary repairs by a qualified licensed door contractor.

(2) One of the rear patio exterior door handles is loose/damaged. We recommend repairs/replacement where needed by a qualified licensed contractor.

2.6.A WINDOWS (INTERIOR AND EXTERIOR)**Repair or Replace**

(4) Condensation was observed between the panes of glass at several windows throughout the house. This occurs when the seal has failed between the panes of glass, and ambient air has entered the assembly. Replacement of the glass is required. Since some failed windows may not be easily found due to changing ambient conditions (heat, humidity, etc). We recommend having all of the windows reviewed by a licensed window contractor to determine how many windows require repair/replacement. We recommend repairing or replacing all windows that have failed window seals by a licensed window contractor.

(5) Casement window(s) had missing crank handles at several windows throughout the house. These windows could not tested for proper operation. We recommend replacing the handles and testing these windows for proper operation prior to the end of your contingency period.

(6) Damaged seals were observed between the panes of glass at several window(s). This can be caused by exposure to the sun (excessive heat) or a manufacturing flaw. Replacement of the insulated unit is needed to restore visibility. We recommend having all of the windows reviewed by a qualified licensed window contractor to determine how many windows require repair/replacement.

2.8.A DRIVEWAYS, PATIOS, WALKWAYS (HARDSCAPE)**Repair or Replace**

Some damaged wood is observed at the patio cover at several areas. We recommend referring to the pest inspection report for a detailed evaluation of the wood. We also recommend necessary repairs or replacing the damaged wood as needed by a qualified licensed contractor.

2(B) . Main House Exterior**2.1.B VEGETATION (WITH RESPECT TO ITS EFFECT ON THE BUILDING)**

Repair or Replace

(1) Tree(s) and/or large plants are located too close to the house. Tree limbs/vegetation that are too close to the house can cause damage in several ways. Limbs or vines in contact with roof or hanging near roof should be trimmed to prevent damage to roof and/or to prevent rodent infestation. Also, as the plants grow, damage can occur to the siding, concrete flat work and to the foundation. We recommend having the foliage removed or trimmed by a qualified professional to prevent damage to the house as soon as possible.

(2) Vegetation is in contact with the siding/ stucco at several areas. Vegetation can create moisture problems by preventing siding from drying out. Vegetation also allows rodents to easily access the roof where they can enter through small voids. We recommend removing vegetation from the siding/ stucco. We also recommend referring to the pest control report for their recommendations.

2.2.B GRADING AND DRAINAGE (WITH RESPECT TO ITS EFFECT ON THE BUILDING)**Repair or Replace**

(1) The stucco/weep screed is in contact with ground at several areas. The weep screed is the metal band at the base of the stucco which has holes to allow the stucco to "breathe" and water to "weep" from the stucco. Having the soil above the weep screed can lead to stucco damage due to limited air flow. We recommend a ground clearance of four inches where possible allow for proper drainage and for ventilation of the stucco walls. Dirt in contact with the stucco can promote deterioration, including rot, pest infestation, and water intrusion during rain. We recommend further evaluation and necessary corrections by a qualified licensed contractor.

2.3.B WALL CLADDING FLASHING AND TRIM**Repair or Replace**

(1) Some damaged wood is observed at several areas. We recommend referring to the pest inspection report for a detailed evaluation of the wood. We also recommend necessary repairs or replacing the wood siding as needed by a qualified licensed contractor.

(2) Hairline cracking was observed at the stucco at several areas. The cracks are less than 1/8 inch in width, and generally considered common in this material. These cracks should be caulked and painted where possible. If cracks increase in width, it may indicate that structural movement is occurring. Determining this is beyond the scope of a home inspection.

(4) The stucco screed flashing is rusted at several areas around the house. The stucco screed flashings may have too much rust and damage and may need to be replaced. We recommend further evaluation by a stucco repair contractor and necessary repairs or replacement made as needed and we recommend adjusting the sprinklers to spray away from the house.

(6) There is damaged/ deteriorated stucco observed at several areas. We recommend necessary repairs where needed by a licensed stucco contractor.

2.4.B EAVES, SOFFITS, FASCIAS**Repair or Replace**

Paint is failing at the eaves at several areas and needs prep and paint. We recommend prep and paint where needed by a licensed paint contractor.

2.5.B DOORS (EXTERIOR)**Repair or Replace**

(1) A pet door is present at and exterior left side door. These modifications can cause damage to the door by letting in rain. These modifications can also reduce the security of the door by making it easier for someone to enter or reach inside and unlock the door. We recommend sealing the door or replacing the door by a qualified person

(3) **Safety Tip:** The hinges installed at the exterior door at the left side do not appear to have security hinges. When the hinge pin is accessible from the exterior, the hinge must be specifically intended for this installation so they are tamper proof. Standard hinges are subject to having the pins removed allowing the doors to be opened. We recommend having at least one security hinge installed at each door for security by a qualified contractor.

2.8.B DRIVEWAYS, PATIOS, WALKWAYS (HARDSCAPE)**Repair or Replace**

(1) Some damaged wood is observed at the patio cover at several areas. We recommend referring to the pest inspection report for a detailed evaluation of the wood. We also recommend necessary repairs

or replacing the damaged wood as needed by a qualified licensed contractor.

(2) There are several cracks in the concrete driveway. We recommend necessary repairs by a licensed concrete contractor.

2.9.B EXTERIOR STAIRS/ STEPS

Repair or Replace

There is no handrail installed at the front yard exterior stairs/ steps. A handrail is required at least one side of the stairs when four or more steps are present. This is a safety hazard and corrections are needed. We recommend installing a handrail for safety by a qualified licensed contractor.

2.10.B FENCE AND/OR GATES

Repair or Replace

(1) The wrought iron fence is rusted and/ or damaged at several areas. This is commonly caused by sprinkler over-spray. We recommend repair or replacement by a fence contractor and adjusting the sprinklers away from the wrought iron fencing to prevent further/ future damage.

(2) Without a barrier between the house and the pool, door alarms should be installed on all house doors that lead to the pool area. We recommend installing door alarms in accordance with your local building requirements. Typically a pool technician or alarm company will have the proper equipment. We recommend installation prior to moving into the house.

(4) The gates at the pool fence swings inward. This is incorrect and repairs are needed for safety. Pool gates must swing away from the pool area. We recommend necessary corrections by a qualified person for safety.

(5) The self-closing device at the pool gates do not close the gates. Gates providing access to the pool area must self close and latch without assistance. This is a safety concern. We recommend necessary repairs by a qualified person.

(6) **The gates that give pool access are not compliant with common safety standards and should be corrected for safety. To help prevent child drowning, pool/spa area fencing and gates should be sixty inches tall and be non-climbable. Gates are required to self-close and include latches at forty-eight inches, and should open away from a pool or spa (so that a toddler could not push open an unlatched gate). We recommend further evaluation and necessary corrections and repairs by a licensed fence contractor or pool contractor.**

(7) Vegetation is growing on the fence in several areas. Vegetation can hold moisture to the fence and cause excessive weight and damage. We recommend trimming back and removing the vegetation by a qualified licensed landscaper.

2.11.B OUTLETS/ WIRING/ FIXTURES

Repair or Replace

A gap is observed at the right side conduit. We recommend necessary repair or replacement by a qualified person.

3(A) . Guest House Electrical

3.0.A SUB PANEL

Inspected

(2) A knockout is noted missing from inside the sub electrical panel. When a knockout is removed and left empty a cover plug is required to be installed to prevent rodent intrusion for fire safety. We recommend installing knockout plug(s) where needed by a qualified licensed electrician for safety.

3.2.A BRANCH CIRCUIT CONDUCTORS/ WIRING

Repair or Replace

(1) Wires for some lighting fixtures in the attic space were observed to be unsecured. We recommend necessary corrections by a qualified licensed electrician.

(5) Unprotected Romex was present in the attic adjacent to the attic scuttle. Romex located within 6 feet of the attic scuttle must be protected from damage. We recommend adding protection to the Romex in attic by the access a qualified licensed electrician.

3.3.A SERVICE AND GROUNDING EQUIPMENT

Repair or Replace

The electrical system appears to be grounded through the plumbing system only which was standard at the time of construction. Newer homes have a separate ground rod which improves grounding. We recommend having a ground rod and wire installed by a qualified licensed electrician to improve grounding and safety.

3.4.A CONNECTED DEVICES AND FIXTURES (REPRESENTATIVE NUMBER)**Repair or Replace**

(1) Several lights throughout the house did not function when tested possibly due to bad bulbs or a miss wired fixtures. Occasionally there may something wrong with the fixtures which cannot be determined without a working bulb. We recommend asking the seller to demonstrate that these lights are working prior to the end of the inspection contingency period, or changing the bulbs and testing again. If these lights do not function we recommend further evaluation by a qualified licensed electrician and necessary repairs or replacement as needed.

(2) The upstairs right side media room over head light was flickering when operated at the time of the inspection. This is non standard. We recommend further evaluation by a licensed electrician and have necessary repairs/replacement made where needed.

3.5.A SWITCHES**Repair or Replace**

(1) I was unable to determine the function of the switch in the master bedroom. We recommend further evaluation by a qualified licensed electrician and repairs made as needed.

(2) Several light switch dimmer covers are missing at several switches. We recommend replacement by a where needed qualified person.

3.7.A RECEPTACLE(S) ISSUES**Inspected**

Several receptacles were found to be loose in the wall at several areas throughout the interior/exterior of the detached house. We recommend necessary repairs where needed by a licensed electrician.

3.8.A 220 OUTLET(S)**Repair or Replace**

(2) There is a three prong 220 volt receptacle installed for the dryer. Most new electric dryers require a four prong receptacle. If you install an electric dryer, you may need to upgrade the receptacle or the dryer power cord. We recommend necessary corrections by a qualified licensed electrician.

3.9.A OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)**Repair or Replace**

(2) The GFCI receptacles located at the exterior of the detached house are not operating properly, or has failed as it did not trip when tested. The outlet may be defective or mis-wired. We recommend replacement by a qualified licensed electrician.

(3) We recommend upgrading all receptacles within 6 feet of any plumbing fixtures, outside/ exterior, in the garage, and any non fixed appliance receptacles in the kitchen to GFCI protected receptacles by a qualified licensed electrician for safety.

(5) The GFCI outlet in master bathroom is a non-grounded outlet which is legal, but not as safe as a grounded GFCI. Non-grounded GFCI protected receptacles require a label stating "No Equipment Ground". We recommend labeling for safety or having this outlet grounded by a qualified licensed electrician.

3.10.A JUNCTION BOXES (OBSERVABLE)**Inspected**

Several open junction boxes were observed in the attic. All electrical splices must be enclosed in a junction box. We recommend necessary repairs by a qualified person for safety.

3(B) . Main House Electrical**3.0.B MAIN PANEL**

Repair or Replace

(2) The main panel breakers are illegible or confusing. We recommend having the breakers properly labeled for safety by a qualified person.

(3) A knockout is noted missing from inside the main electrical panel. When a knockout is removed and left empty a cover plug is required to be installed to prevent rodent intrusion for fire safety. We recommend installing knockout plug(s) where needed by a qualified licensed electrician for safety.

3.1.B SUB PANEL**Repair or Replace**

(2) A knockout is noted missing from inside the sub electrical panel. When a knockout is removed and left empty a cover plug is required to be installed to prevent rodent intrusion for fire safety. We recommend installing knockout plug(s) where needed by a qualified licensed electrician for safety.

3.4.B SERVICE AND GROUNDING EQUIPMENT**Inspected**

The electrical system appears to be grounded through the plumbing system only which was standard at the time of construction. Newer homes have a separate ground rod which improves grounding. We recommend having a ground rod and wire installed by a qualified licensed electrician to improve grounding and safety.

3.5.B CONNECTED DEVICES AND FIXTURES (REPRESENTATIVE NUMBER)**Repair or Replace**

(1) The BBQ area ceiling fan did not work when tested at the time of the inspection. We recommend further evaluation by a qualified person and repairs or replacement made as necessary.

(2) A light at the BBQ area did not function when tested possibly due to a bad bulb or a miss wired fixture. Occasionally there may something wrong with the fixture which cannot be determined without a working bulb. We recommend asking the seller to demonstrate that the light is working prior to the end of the inspection contingency period, or changing the bulb and testing again. If the light does not function we recommend further evaluation by a qualified licensed electrician and necessary repairs or replacement as needed.

3.10.B OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)**Inspected**

(2) We recommend upgrading all receptacles within 6 feet of any plumbing fixtures, outside/ exterior, in the garage, and any non fixed appliance receptacles in the kitchen to GFCI protected receptacles by a qualified licensed electrician for safety.

3.13.B EXTERIOR LIGHTING**Repair or Replace**

(1) The exterior light fixtures were not sealed where the fixture meets the wall. This condition could allow moisture intrusion in this area. We recommend sealing exterior light fixtures where they meet the wall by a qualified person.

4. Garage

4.0 GARAGE VEHICLE DOOR(S)**Repair or Replace**

(2) The side weather seal is damaged at one the garage vehicle door. We recommend replacing the weather seal by a qualified licensed garage door contractor.

4.1 GARAGE VEHICLE DOOR OPENER(S)**Inspected**

(1) Due to the high number of garage door openers that fail to auto-reverse when testing the garage door openers pressure-activated auto-reverse feature which could cause severe damage to the garage door and its related components when it fails to auto-reverse, we did not test the garage door openers pressure-activated auto-reverse feature at the time of the inspection. We recommend having the garage door(s) pressure-activated auto-reverse feature tested prior to the end of your contingency

period by a qualified licensed garage door contractor.

4.3 GARAGE WALLS (INCLUDING FIREWALL SEPERATION)

Inspected

Due to occupants personal items, not all areas of the property were visible and accessible at the time of the inspection. Several windows, doors, outlets, walls, flooring, and other areas were obstructed from view and could not be inspected. The home inspector does not move personal items, panels, furniture, equipment, plant life, soil, debris, ect. that obstructs their access or visibility. We recommend that you conduct a careful evaluation during your final walk-through or prior to the end of your contingency period to ensure that there are no hidden defects. All doors, windows, and outlets should be tested and verified for proper operation prior to the end of your contingency period by a qualified person. If any damage is observed we recommend asking the seller about it. We recommend that any damage found be repaired or replaced by a qualified licensed contractor in the appropriate trade.

4.4 GARAGE FLOOR/ SLAB

Inspected

(1) There is turf and rubber tiles installed on/ over the garage slab. The garage slab is not visible to inspect. These materials can trap spilled flammable liquids. This condition is a fire and a safety hazard. We recommend removing the carpet and inspecting the slab prior to the end of your contingency period.

(3) The garage slab is deteriorated/ pitted in several areas. We recommend necessary repairs by a qualified licensed foundation contractor.

(4) There is white efflorescence (powder substance) is observed on the garage stem wall and slab in some areas. This condition indicates that moisture is in contact with the masonry. We recommend checking the gutters, downspouts, and drain lines for proper operation. A water proofing paint could be applied the foundation if necessary. Efflorescence is found on many homes without water intrusion occurring. We recommend necessary corrections to help this condition from occurring.

4.7 GARAGE PEDESTRIAN DOOR(S)

Repair or Replace

Weather-stripping is damaged at the garage pedestrain door. We recommend installing weather-stripping by a qualified person.

5(A) . Guest House Water Heater

5.0.A MAIN WATER HEATER (CONTROLS)

Repair or Replace

(4) **Thermal Photo of the water temperature.**

The temperature of the water was tested using a thermal camera at the time of the inspection and found to be above 125 degrees. Water temperatures above 125 degrees can cause scalding or burns. Most water heater manufacturers recommend setting the water heater controls at 120 degrees for optimum efficiency. We recommend setting the water heater controls at 120 degrees by a qualified person for optimum efficiency.

(5) There is an insulating blanket installed over the water heater. This prevented a full inspection of the water heater. Home inspectors do not remove insulating blankets. We recommend removal to help prevent moisture from being trapped between the blanket and tank which could lead to premature corrosion.

(6) The leak pan under the water heater is too small because the insulating blanket was installed into the leak pan which took up the entire space of the pan. The leak pan should be 2 inches larger in diameter than the water heater. The current installation may not function properly in the event of a leak. We recommend replacing this leak pan with an appropriate sized leak pan by a qualified licensed plumber.

(7) There is no electric disconnect in sight of the water heater or lockable disconnect at the circuit breakers. These are current standard requires. We recommend necessary corrections by a qualified licensed contractor as a safety upgrade.

5.1.A MAIN WATER HEATER (PLATFORM & STRAPPING)**Repair or Replace**

(2) The water heater is improperly strapped as required. Seismic strapping is required to be installed at the top 1/3 of the water heater and 4 inches above the water heater controls. We recommend installing seismic straps by a qualified person.

5.3.A WATER HEATER OTHER**Repair or Replace**

We recommend further evaluation of the water heater and its related components prior to the end of your contingency period by a qualified licensed plumber due to the number of defects discovered at the time of the inspection. We recommend necessary repairs or replacement made as needed.

5(B) . Main House Water Heater**5.0.B MAIN WATER HEATER (CONTROLS)****Inspected**

(3) A gas leak test was conducted at accessible gas fittings at the water heater using a gas leak detector. A gas leak was detected at the water heater gas pipe at the time of the inspection. We recommend necessary repairs by a licensed plumber.

(4) A carbon monoxide test was performed using a hand held carbon monoxide detector during the inspection while testing the gas water heater. Carbon monoxide was detected at the water heater at the time of the inspection. We recommend further evaluation by a qualified licensed contractor and necessary repairs needed.

(5) The gas supply pipe at the water heater did not contain a drip leg/ sediment trap. This may have been standard at the time of installation but now is highly recommended. The purpose of a drip leg is to prevent sediment/ debris from entering and clogging the water heater gas valve which could cause the water heater to shut down. We recommend having a drip leg installed by a qualified licensed plumber.

5.1.B MAIN WATER HEATER (PLATFORM & STRAPPING)**Repair or Replace**

The water heater is improperly strapped as required. Seismic strapping is required to be installed at the top 1/3 of the water heater and 4 inches above the water heater controls. We recommend installing seismic straps by a qualified person.

6(A) . Guest House Interior**6.0.A INTERIORS (GENERAL COMMENTS)****Inspected**

(4) We did not test the property for asbestos. Testing for asbestos is out of the scope of a general home inspection and was not done by this company at the time of the inspection. If you are concerned that this property may contain asbestos, we recommend that you have the property tested for asbestos prior to the end of your contingency period by a qualified licensed contractor.

6.1.A CEILINGS**Repair or Replace**

The ceiling has typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made by a qualified person.

6.5.A DOORS (REPRESENTATIVE NUMBER)**Repair or Replace**

(1) The bathroom door hardware is misaligned; the door does not latch. We recommend adjusting the strike plate or necessary corrections made by a qualified person.

6.7.A INTERIORS - OTHER

Information Only

(2) MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

6(B) . Main House Interior**6.0.B INTERIORS (GENERAL COMMENTS)****Inspected**

(4) **We did not test the property for asbestos. Testing for asbestos is out of the scope of a general home inspection and was not done by this company at the time of the inspection. If your concerned that the this property may contain asbestos, we recommend that you have the property tested for asbestos prior to the end of your contingency period by a qualified licensed contractor.**

(5) This home is older and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

6.1.B CEILINGS**Repair or Replace**

(1) Hairline cracking was observed at the ceiling at several locations in the house. These hairline cracks are likely due to material shrinkage or settlement of the structure. We recommend prep and paint by a qualified licensed contractor.

(2) The ceiling has typical cosmetic wear. You may wish to view this for yourself and have necessary repairs made by a qualified person.

6.2.B WALLS**Repair or Replace**

(2) Hairline cracking was observed at several locations. These hairline cracks are likely due to material shrinkage or settlement of the structure. We recommend prep and paint by a qualified licensed painter.

6.9.B INTERIORS - OTHER**Inspected**

(2) MAINTENANCE RECOMMENDATION: We recommend re sealing (caulking or grouting) around all sink to counter top junctions and backsplash to countertop junctions, and around all bathroom shower pan(s), curb(s), tub/ shower floor junctions, and adjacent walls throughout the house or where needed by a qualified person to help prevent moisture intrusion in these areas.

6.10.B ADDITIONS/ MODIFICATIONS**Information Only**

It is beyond the scope of our general home inspection to verify permits. We recommend checking city records to verify the existence of permits prior to the end of your contingency period.

7(A) . Guest House Plumbing

7.1.A WATER SUPPLY, DISTRIBUTION SYSTEMS

Repair or Replace

(1) There were un-insulated water supply pipes noted in the crawl space. All exposed water supply pipes, hot or cold should be insulated to help minimize heat loose. We recommend necessary corrections by a qualified licensed plumber.

(3) A corroded pipe is observed in the attic. We recommend further evaluation by a qualified licensed plumber and necessary repairs made.

(4) A corroded pipe is observed in the attic. We recommend further evaluation by a qualified licensed plumber and necessary repairs made.

7.2.A WATER PRESSURE/ REGULATOR

Repair or Replace

The water pressure was checked with a water pressure gauge and was measured to be higher than 80 PSI at the time of the inspection. This is to high and corrections are needed. We recommend further evaluation by a qualified licensed plumber for necessary repairs or corrections.

7.3.A HOSE SPIGOT(S)

Repair or Replace

(2) The exterior hose spigots do not have anti-siphon or anti-backflow devices installed on them. These anti-siphon or anti-backflow devices help prevent contaminated water from flowing back into the the house water supply system. We recommend installing anti-siphon or anti-backflow devices at the every exterior hose spigots by a qualified person.

7.5.A SINK(S)

Repair or Replace

Some of the sink angle stop valves are observed with calcium deposits on them. Calcium deposits can corrode or deteriorate these valves and cause potential leaks. We recommend replacing all calcified angle stop valves by a qualified licensed plumber to help prevent leaks.

7(B) . Main House Plumbing

7.0.B DRAIN, WASTE, AND VENT SYSTEMS

Repair or Replace

(1) An active leak is present at the drain pipe under the outdoor BBQ sink. We recommend necessary repairs by a qualified licensed plumber.

7.1.B WATER SUPPLY, DISTRIBUTION SYSTEMS

Repair or Replace

(2) It was common practice for homes to have some portions of the plumbing distribution system installed through the concrete slab which have been known to deteriorate and result in leaks. During the inspection, we tried to determine if any slab leaks may exist. At the time of the inspection, we scanned the slab using a thermal camera to help find any active leaks and there was no evidence of current/ active leaks observed or discovered.

7.3.B HOSE SPIGOT(S)

Inspected

(2) The exterior hose spigots do not have anti-siphon or anti-backflow devices installed on them. These anti-siphon or anti-backflow devices help prevent contaminated water from flowing back into the the house water supply system. We recommend installing anti-siphon or anti-backflow devices at the every exterior hose spigots by a qualified person.

7.5.B SINK(S)

Repair or Replace

Some of the sink angle stop valves are observed with calcium deposits on them. Calcium deposits can corrode or deteriorate these valves and cause potential leaks. We recommend replacing all calcified angle stop valves by a qualified licensed plumber to help prevent leaks.

8(B) . Master Bathroom

8.0.B SINK(S)

Repair or Replace

(1) The left side sink in the bathroom was slow draining at the time of the inspection This may indicate a blockage in the drain line. We recommend further evaluation by a qualified licensed plumber and repairs as needed.

(2) The metal portions of the sink drain are rusted or corroded. A leak was not observed at this sink drain pipe at the time of the inspection. However, we recommend replacing this drain pipe by a qualified licensed plumber to help prevent future leaks or damage.

8.1.B SHOWER

Repair or Replace

(1) The bottom shower door seal is missing at the shower door. This is allowing water to splash out of the shower and onto the bathroom floor. We recommend installing a bottom shower door seal by a qualified person.

(2) The tile surround has cracked or missing grout between the tiles and needs repair or replace. There may be water damage to the wall behind the tiles which is not visible. Determining if water damage exists in the wall behind tiles is beyond the scope of our general home inspection. We recommend having the tiles repaired by a licensed tile contractor. Additional repairs may be required when tiles are removed. This area should be evaluated further by a qualified licensed tile contractor prior to the end of your contingency period.

8.2.B GFCI OPERATION

Repair or Replace

The left side GFCI outlet in this bathroom is a non-grounded outlet which is legal, but not as safe as a grounded GFCI. Non-grounded GFCI protected receptacles require a label stating "No Equipment Ground". We recommend labeling for safety or having this outlet grounded by a qualified licensed electrician.

8.3.B JETTED TUB

Repair or Replace

(1) The bonding wire is missing at the jetted tub equipment. This is a safety hazard. A bonding wire should connect all metal components of the for safety. We recommend installing a bonding wire by a qualified licensed electrician for safety.

(2) During the operation of the jetted tub debris was observed to come out of the jets. We recommend having the jetted tub professionally cleaned and flushed prior to use.

8(C) . Guest House Bathroom

8.0.C SHOWER

Repair or Replace

(1) The handheld shower faucet leaks when operated. We recommend necessary repairs or replacement by a qualified licensed plumber.

(2) The tile surround has cracked or missing grout between the tiles and needs repair or replace. There may be water damage to the wall behind the tiles which is not visible. Determining if water damage exists in the wall behind tiles is beyond the scope of our general home inspection. We recommend having the tiles repaired by a licensed tile contractor. Additional repairs may be required when tiles are removed. This area should be evaluated further by a qualified licensed tile contractor prior to the end of your contingency period.

(3) We recommend caulking around the hall bathroom shower pan, curb, and adjacent walls to help

prevent moisture intrusion.

8.1.C DOOR(S)**Repair or Replace**

The door rubs at the frame. We recommend necessary corrections by a qualified person.

8(D) . Hall Bathroom Upstairs**8.0.D SINK(S)****Repair or Replace**

The sink faucet is loose. We recommend necessary repairs by a qualified licensed plumber.

8.1.D SHOWER**Repair or Replace**

(1) The tile surround has cracked or missing grout between the tiles and needs repair or replace. There may be water damage to the wall behind the tiles which is not visible. Determining if water damage exists in the wall behind tiles is beyond the scope of our general home inspection. We recommend having the tiles repaired by a licensed tile contractor. Additional repairs may be required when tiles are removed. This area should be evaluated further by a qualified licensed tile contractor prior to the end of your contingency period.

(2) There is a steam shower installed. Steam showers are out of the scope of our general home inspection. We recommend further evaluation by a qualified person if concerned.

8(F) . Upstairs 3rd Guest Bedroom Bathroom**8.1.F TOILET****Repair or Replace**

The toilet is loose on the floor. This condition could damage the wax ring under the toilet. We recommend necessary repairs by a licensed plumber.

8.2.F OUTLET(S)/ FIXTURE(S)**Repair or Replace**

A receptacle was found to be loose in the wall. We recommend necessary repair by a licensed electrician.

8(G) . Downstairs Guest Bedroom Bathroom**8.0.G SHOWER****Repair or Replace**

The bottom shower door seal is missing at the shower door. This is allowing water to splash out of the shower and onto the bathroom floor. We recommend installing a bottom shower door seal by a qualified person.

8.1.G TOILET**Repair or Replace**

The toilet did not flush when tested. We recommend further evaluation and necessary repairs by a licensed plumber.

8(H) . Left Side Half Bathroom**8.0.H SINK(S)**

Repair or Replace

The sink in the bathroom was slow draining at the time of the inspection This may indicate a blockage in the drain line. We recommend further evaluation by a qualified licensed plumber and repairs as needed.

8.1.H TOILET**Repair or Replace**

The toilet did not flush when tested. We recommend further evaluation and necessary repairs by a licensed plumber.

8(I) . Left Side 2nd Half Bathroom**8.0.I SINK(S)****Repair or Replace**

The metal portions of the sink drain are rusted or corroded. A leak was not observed at this sink drain pipe at the time of the inspection. However, we recommend replacing this drain pipe by a qualified licensed plumber to help prevent future leaks or damage.

8.1.I TOILET**Repair or Replace**

The toilet was "running" at the time of the inspection. We recommend necessary repairs by a licensed plumber.

9. Laundry**9.0 WASHING MACHINE/ DRYER CONNECTION(S)****Repair or Replace**

- (1) The laundry faucet valves are leaking. We recommend necessary repairs or replacement by a qualified licensed plumber.
- (2) There is a three prong 220 volt receptacle installed for the dryer. Most new electric dryers require a four prong receptacle. If you install an electric dryer, you may need to upgrade the receptacle or the dryer power cord. We recommend necessary corrections by a qualified licensed electrician.

9.1 CLOTHES DRYER VENT**Repair or Replace**

- (1) We recommend having the dryer vent cleaned by a qualified person.
- (2) The dryer is equipped with a foil, accordion-type duct. The U.S. Consumer Product Safety Commission considers these types of ducts to be unsafe and a fire hazard. The flexible foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow. We recommend replacing the duct with a rigid or corrugated semi-rigid metal duct.

9.4 LAUNDRY SINK**Repair or Replace**

The metal portions of the sink drain are rusted or corroded. A leak was not observed at this sink drain pipe at the time of the inspection. However, we recommend replacing this drain pipe by a qualified licensed plumber to help prevent future leaks or damage.

10. Fireplaces/ Chimneys**10.0 CHIMNEY(S)****Inspected**

- (1) We recommend having all of the fireplaces and chimneys cleaned and inspected by a licensed chimney sweep for safety prior to using.

(3) A rain cap is not present/ installed at the chimneys. This may have been acceptable at the time of construction. The rain cap prevents water from entering the chimney flue to help prevent deterioration. We recommend having a spark arrester/ rain cap installed by a qualified person.

10.1 FIREPLACE(S)**Repair or Replace**

(2) A gap was observed at the gas stub inside the family room fireplace. This gap should be sealed with an approved sealant to help prevent chimney fires. We recommend corrections made by a licensed chimney contractor.

(3) There is an Aluminum Semi-Rigid gas connector installed at the fireplace gas logs. Aluminum gas connectors are no longer used and considered a fire hazard by SDG&E. We recommend replacing and installing an approved gas flex line by a qualified licensed plumber.

(4) Cracking is observed in the outside fireplace. We recommend necessary repairs by a qualified licensed chimney contractor.

10.2 DAMPER/ DAMPER CLAMP**Repair or Replace**

(2) The damper is inoperable or difficult to open at the outdoor fireplace. We recommend necessary repairs by a licensed chimney contractor.

11(A) . Guest House**11.0.A SMOKE DETECTORS****Repair or Replace**

(2) A smoke detector is missing in master bedroom. This is a safety hazard. We recommend installing a smoke detectors in order to comply with current fire and safety standards and regulations by a qualified person.

11.1.A CARBON MONOXIDE DETECTOR(S)**Repair or Replace**

Carbon Monoxide detectors are not installed in this property. We recommend installing Carbon Monoxide detectors where needed prior to occupying the home.

11.3.A FIRE SPRINKLERS**Not Inspected**

(1) There is a fire sprinkler system installed in the house and was not inspected by this company at the time of the home inspection. Inspecting fire sprinkler systems is beyond the scope of our general home inspection. We recommend having the fire sprinkler system inspected by a qualified licensed contractor prior to the end of your contingency period.

(2) Several fire sprinkler caps are missing at several sprinkler heads throughout the house. We recommend replacement where needed by a qualified person.

11(B) . Main House**11.0.B SMOKE DETECTORS****Repair or Replace**

(3) We recommend installing additional smoke detectors where needed to comply with current fire and safety standards and regulations as a safety upgrade.

11.3.B FIRE SPRINKLERS**Repair or Replace**

(1) There is a fire sprinkler system installed in the house and was not inspected by this company at the time of the home inspection. Inspecting fire sprinkler systems is beyond the scope of our general home inspection. We recommend having the fire sprinkler system inspected by a qualified licensed contractor prior to the end of your contingency period.

(2) There is a bird nest inside the exterior fire alarm bell. This condition may interfere with the proper operation of the fire alarm bell. This is a safety hazard and corrections are needed. We recommend removing the bird nest from the fire alarm bell prior to occupying the house for safety.

12(A) . Guest House Heating

12.3.A DISTRIBUTION SYSTEMS (INCLUDING FANS, PUMPS, DUCTS, INSULATION, FILTERS, REGISTERS)

Repair or Replace

(2) The air filter(s) for the HVAC system is dirty. We recommend replacing by a qualified person.

13(A) . Guest House Cooling

13.0.A COOLING EQUIPMENT

Repair or Replace

(2) The AC condenser is making excessive noise when operating. We recommend further evaluation by a qualified licensed HVAC contractor to obtain an estimate of life remaining, or cost to repair/replace.

(3) The AC unit(s) are not strapped to pad(s). Most manufacturers installation instructions require strapping condensers to the pads. Movement of the units due to internal vibration (or earthquake) can damage the refrigerant lines and their connections. We advise repair with qualified person.

(4) The air conditioner did operate but failed to produce cold air. We recommend a qualified licensed HVAC inspect and repair as needed prior to the end of your contingency period.

13.2.A COOLING EQUIPMENT - OTHER

Repair or Replace

We recommend further evaluation of the entire AC system and its related components by a qualified licensed HVAC contractor prior to the end of your contingency period due to the number of defects discovered and necessary repairs and replacement made as needed.

13(B) . Main House Cooling

13.0.B COOLING EQUIPMENT

Repair or Replace

(4) The AC unit(s) are not strapped to pad(s). Most manufacturers installation instructions require strapping condensers to the pads. Movement of the units due to internal vibration (or earthquake) can damage the refrigerant lines and their connections. We advise repair with qualified person.

14(A) . Guest House

14.0.A INSULATION IN THE ATTIC SPACE

Repair or Replace

(3) The attic space access hatch cover is not insulated. We recommend insulating the attic access hatch cover to reduce unwanted heat loss/gain by a qualified person.

(4) Insulation was noted to be in contact with several recessed lights in the attic area. This is a safety/ fire hazard. We recommend removal/ necessary corrections by a qualified person.

14(B) . Main House

14.0.B INSULATION IN THE ATTIC SPACE

Repair or Replace

(3) The attic space access hatch cover is not insulated. We recommend insulating the attic access hatch cover to reduce unwanted heat loss/gain by a qualified person.

16. Built-In Kitchen Appliances

16.7 WARMING DRAWER

Repair or Replace

The warming drawer did not function when tested at the time of the inspection. We recommend further evaluation and necessary repairs or replacing by a qualified licensed appliance contractor.

18. POOL, SPA, EQUIPMENT & SAFETY

18.0 OPERATIONAL CONDITION OF POOL

Repair/ Replace

(3) There is no visible rescue/ safety equipment placed around the pool/ spa area. This is a safety concern. We recommend placing the required rescue/ safety equipment where needed around the pool as a safety upgrade.

18.2 FENCING/ COVER

Repair/ Replace

(1) There is no self-closing device at the left side pool gate. Gates providing access to the pool area must self close and latch without assistance. This is a safety concern. We recommend having a self-closing device installed by a qualified person.

(2) Door alarms should be installed on all house doors that lead to the pool area due to no barrier between the house and the pool. We recommend installing door alarms in accordance with your local building requirements by a qualified licensed contractor.

18.3 SURFACE WALLS AND FLOOR OF POOL AND OR SPA

Repair/ Replace

(1) Calcium nodules are observed at the pool surface. This can be caused by poor chemical maintenance or unbalanced Ph levels. We recommend further evaluation by a qualified licensed pool contractor prior to the end of your contingency period.

(2) Several tiles are missing from the pool walls. We recommend having the tiles repaired or replaced by a qualified licensed pool contractor.

18.4 PERMANENT ACCESSORIES (steps, rails, diving board, ladder)

Repair/ Replace

There are no steps or ladders to exit the pool. This poses a potential drowning hazard. We recommend installing steps or a ladder by a qualified licensed pool contractor for safety.

18.5 PLUMBING AND PUMPS

Repair/ Replace

(1) The pool/spa pump(s) were tested and were found to be operational at the time of the inspection. Pumps are not evaluated for capacity, efficiency, flow rate or pressure.

(2) **Note:** White plastic PVC pipes were exposed to direct sunlight at pool equipment. This type material is deteriorated by the ultra-violet (UV) radiation in sunlight, and this condition will result in premature failure of pipes compared to similar pipes protected from UV.

18.6 HEATER

Repair/ Replace

(1) The pool furnace was off at the time of the inspection. The gas supply has been turned off. Home inspectors do not light pilots. We recommend further evaluation and verifying that the system operates by a qualified licensed pool contractor prior to the end of your contingency period.

(2) The gas supply pipe at the pool/ spa heater did not contained a drip leg/ sediment trap. This may have been standard at the time of installation but now is highly recommended. The purpose of a drip leg is to prevent sediment/ debris from entering and clogging the heater gas valve which could cause the heater to shut down. We recommend having a drip leg installed by a qualified licensed plumber or licensed pool contractor.

18.7 ELECTRICAL COMPONENTS**Repair/ Replace**

(1) The control button(s) located at the spa did not function when tested. We recommend further evaluation by a qualified licensed pool contractor prior to the end of your contingency period and necessary repair or replacement as needed.

(3) The pool equipment electric panel breaker labels are illegible. We recommend having the breakers properly labeled for safety by a qualified person.

18.8 VALVES**Repair/ Replace**

A valve handle is damaged. We recommend replacement by a qualified licensed pool contractor.

18.10 GFCI PROTECTION**Inspected**

The GFCI outlet was tested and was found to be operable at the time of the inspection.

18.13 POOL/ SPA LIGHT**Repair/ Replace**

(2) The pool light(s) did not function when tested. We recommend further evaluation and repair or replacement as needed by a qualified pool contractor.

19. SEWER SCOPE INSPECTION

19.4 SEWER SCOPE INSPECTION FINDINGS**Repair or Replace**

(1) The main sewer pipe was holding water at approximately 90 feet from the access point. We recommend further evaluation prior to the end of your contingency period by a licensed plumber and necessary repairs or replacement made as needed.

(2) The clean out drain plug (cap) of the main sewer pipe in front of the garage could not be made to come off. Due to this condition the main sewer pipe could not be inspected through this cleanout and was inspected through the master bathroom cleanout. We recommend contacting a licensed plumber and having this clean out cap removed and the main sewer pipe inspected prior to the end of your contingency period by this company.

(3) Clean out(s) were observed to be more than 100 feet apart from one another. We recommend installing additional clean outs where needed by a licensed plumber for the servicing of the line, in the event there is a blockage that needs to be removed.

(4) The camera could not travel beyond 150 feet from the access point in the main sewer pipe due to the length of the pipe and/or multiple turns in the pipe. The remaining length of the pipe and the connection to the street sewer main line could not be evaluated.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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